



**Board of County
Commissioners**
Pete Gerken
President
Tina Skeldon Wozniak
Carol Contrada

Office of Support Services
Kelly Roberts
Director
Lynn DiPierro
Manager

Addendum #2 - Issued December 12, 2012

Regarding Bids for **Renovations to Buildings B, C & D (ITB 12-033P)** for the Lucas County Commissioners, bid opening scheduled for December 17, 2012 at 2:00 P.M. (local time).

This document becomes a fully incorporated part of the specifications, and this letter constitutes legal notice of this requirement.

The entire original Bid Packet including this addendum must be submitted prior to the Bid Opening Date and Time.

Following are questions submitted to the Lucas County Commissioners and the subsequent answers. This addendum supplements and amends the original drawings and specifications.

December 11, 2012

ADDENDUM NO. 002

To the Drawings and Specifications for:

**Renovations to Buildings B, C and D
At the McCord Road Complex**

106048

Lucas County Board of Commissioners

Prepared By:

THE COLLABORATIVE INC
Architects
Landscape Architects
Interior Designers
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Toledo, Ohio 43604
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TO ALL BIDDERS:

This addendum supplements and amends the original drawings and specifications, and shall be taken into account in preparing proposals, and shall become a part of the contract documents. Receipt of this Addendum must be acknowledged in the Bid Form.

GENERAL

Questions:

- A. See attached bidder questions list attached. New questions and answers are at the end of the list.

Clarifications

- A. None.

Invitation to Bid

Section F - PRICING (Re-Issued)

- Item #1 Revised bid form to correct mis-numbered items and duplicate bid item.

Specifications

Section 01 1200 MULTIPLE CONTRACT SUMMARY (Re-Issued)

- Item #1 Part I, Section 1.6, Item D: Delete the word "HVAC" and insert the words "Lead Contractor".

Section 01 2100 ALLOWANCES (Re-issued)

- Item #1 Part 3, Section 3.1: Add Item E, Allowance 5 from Addendum 001 and revised wording for clarity.
- Item #2 Part 3, Section 3.1: Added Item F, Allowance 6 for interior signage.

Section 01 2300 ALTERNATES (Re-Issued)

- Item #1 Added Alternate 2 for replacement of existing windows in Building 'D'.

Section 07 411313 FORMED METAL ROOF PANELS (Not Re-issued)

- Item #1 Part 2, Section 2.2, Paragraph B.2: Add "McElroy Metal" as an approved manufacturer.

Section 07 411316 STANDING-SEAM METAL ROOF PANELS (Not Re-issued)

- Item #1 Part 2, Section 2.2, Paragraph B.2: Add "McElroy Metal" as an approved manufacturer.

Section 08 7100 DOOR HARDWARE (Re-issued)

- Item #1 Added clarification on keyway designation in Part 3.

Drawings

Architectural Drawings – Building B

Drawing A1.01 "Floor Plans, Schedules & Details (Re-Issued)

- Item #1 Added notes to demolition plan to clarify extent of demolition within existing walls and to remove existing window.
- Item #2 Added notes to fill openings in existing concrete masonry walls.
- Item #3 Added metal stud and gypsum board wall in Data 107.
- Item #4 Added one (2) wall mounted fire extinguishers in Records 109.
- Item #5 Added notes to prepare, prime, paint and provide sealant at all exterior windows.

Drawing A1.02 "RCP, Room Finish Plan, Legend & Schedule" – (Re-issued)

Item #1 Revised ceiling plan in room Data 107 to reflect addition of metal stud and gypsum board wall on north wall.

Architectural Drawings – Buildings C-D

Drawing A0.11 "Demolition Plan" – (Re-issued)

Item #1 Added demolition note "W-3" to east and south wall of Building C.

Item #2 Expanded demolition note "W-2" to clarify extent of exterior wall removal.

Drawing A1.01 "First Floor Plan, Mezzanine Plan & Details" – (Re-issued)

Item #1 Added notes '3' and '4' to Notes regarding window work scope and interior finishes for wall finishes at infill areas.

Item #2 Added requirements for chain-link fence and post-installed anchor sizes.

Drawing A1.02 "Roof Plan, Enlarged Plans & Interior Elevations" – (Re-issued)

Item #1 Added new wall between Women 109 and Men 110 toilet rooms.

Item #2 Revised wall type tags for Enlarged Plan "D1".

Drawing A3.01 "Exterior Elevations" – (Re-issued)

Item #1 Revised window section A6 to include solid surface stool construction.

Item #2 Added window schedule.

Item #3 Added Window Renovation Notes.

END OF ADDENDUM #02 (03 written pages, 6 Drawings Re-Issued or Newly Issued, and 06 Specification Sections Re-Issued or Newly Issued)

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
1	Dotson Company	Project Labor Agreement Article II Item 2.2 - Off Site Labor is problem with sub-contractors/material suppliers. Please revise to On-Site only.	The Owner offers the following clarification to Article II, Item 2.2 of the Project Labor Agreement: "The parties to this agreement want to further clarify that any construction work performed for the project off-site and not adjacent to the work site does not fall under this project labor agreement for the purposes of Article III of the Project Labor Agreement".	1
2	Dotson Company	Have Plans been submitted for building permit?	No. Permit plans will be submitted within one week of Addendum 001.	1
3	Dotson Company	Has a starting date and completion date been set?	A firm start and completion date has not been established for this project. It is anticipated that contracts will be awarded in January 2013 and work will be substantially complete in June 2013	1
4	Dotson Company	Is Lathrop Company the Construction Manager on this Project? If they are what is their role in conjunction with the General Trades Contractor being the Lead Contractor.	A construction manager is not assigned to this project. The administration of the project will be through Lucas County and the Architect.	1
5	Dotson Company	Confirm that each prime contractor will provide their own Builder's Risk Policy and Performance Bond equal to their contract.	Confirmed	1
6	Dotson Company	Confirm who provides temporary heat? General Conditions item 2.7.3.2 says the Lead Contractor but Multiple C ontracts Item 1.6D says it's the responsibility of the HVAC Contractor.	Section 1.6, Article D has been revised to "Lead Contractor". See written narrative for temporary heating allowance to be included in General Trades bid.	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
7	Dotson Company	Confirm all cutting, removal, framing and patching is to be done under each Prime C ontract for it's own work. This includes but is not limited to concrete floors, wall openings for louvers/fans, roof openings, landscaping, asphalt, etc.	Each Prime Trade Contractor is responsible for their own cutting, removal, framing and patching for work directly related to their contracts.	1
8	Dotson Company	Confirm Office Trailer Location or can we aquire an area inside one of the buildings? Can cell phones be used rather than actual phone lines?	Space for an office trailer can be coordinated with the Owner; however no power, water or telephone service will be provided by the Owner for the Contractor office trailer(s). Cell phone use by the Contractors is permissable as there will be an occupied office in Building 'A' for hardline phone use.	1
9	Dotson Company	With the toilets being removed and renovated, how many "VIP" type toilets do you want? Confirm (1) for each sex in Building "B" _ "C+D" together. Should separate toilets be provided for construction workers? Locations?	The Owner does not intend to occupy Buildings B, C and D until determined to be substantially complete. Lead Contractor shall provide adequate number of construction worker portable toilets for each building.	1
10	Dotson Company	Confirm dumpster locations.	Dumpster locations will be determined with Owner input after award of contract. Location will be adjacent to building.	1
11	Dotson Company	Building "B" - is door 100 a totally new door and frame? Demo plan does not indicate existing coming out.	Door 100 is a new door and frame in an existing opening.	1
12	Dotson Company	Confirm H.M. frames in masonry wall are to be welded and use expansion type sleeve anchors in existing walls/wire anchors in new walls.	New hollow metal frames in masonry shall be welded. Use expansion type sleeve anchors where installed in existing masonry and wire anchors in new masonry construction.	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
13	Dotson Company	Confirm all H.M. frames in stud walls to be knock-down type.	Hollow metal frames for stud and gypsum board walls shall be slip-on (knock-down) type as specified.	1
14	Dotson Company	Please advise lock manufacturer and keyway of existing building keying system.	This question will be further investigated and answered in Addendum 002	1
15	Dotson Company	Please advise at pre-bid as to what extent the building will be occupied. Confirm Owner removed all furnishings.	Owner will not have personnel occupying Buildings "B", "C" or "D" until they have achieved Substantial Completion. Office type furnishings will be removed by Owner. Owner has equipment stored in Building "B" and will move or relocate equipment as necessary for Contractors to complete their work.	1
16	Dotson Company	Confirm Bldg. "D" door EX-1 is only door with Automatic Door Operator. Spec's say EX11 & EX12.	Hardware set 007 for Building "C-D" has been revised. See attached written narrative.	1
17	Dotson Company	Building "B" + "C+D", please advise location and size of fire extinguishers and cabinets.	Building "B" - fire extinguisher added adjacent to doors EX-2 and EX7. Building "C+D" - See attached plan for locations of fire extinguishers. Fire extinguishers shall be steel containers, red enamel finish, wall hung, 4A:60B:C.	1
18	Dotson Company	Bldg "B" + "D" entry awnings is aluminum frame acceptable?	Yes	1
19	Dotson Company	Confirm graphics "Building B" + "Building D".	Confirmed	1
20	Dotson Company	Is project sign required? By who?	No project sign is required.	1
21	Dotson Company	Any interior signage required? Locations? Schedule?	An interior signage allowance has been added to the General Trades requirements.	1
22	Dotson Company	Building "C+D" - Partition "K": confirm spacing of steel tubes for lateral wall support. Please call to discuss.	Type "K" wall partition detail has been revised to correctly reflect the steel tube spacing for lateral support.	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
23	Dotson Company	Exterior Painting - Please define what gets painted: just new doors/bumper posts or everything including wall siding. Confirm no roof panel painting.	Exterior painting is limited to new work or existing work damaged while installing new work as described on the documents. Roof panels are pre-painted as clearly indicated in the specifications.	1
24	Dotson Company	Confirm no site work or exterior concrete work required for Buildings "B-C-D" Including stoops	Site work is related to the fiber optic backbone work as shown on sheets T-1 and T-2. Refer to these sheets for work associated with Electrical Trades.	1
25	Dotson Company	Building "B" - Confirm filling of existing openings in masonry wall betwee Office Area and Garag does not have to be toothed.	There is a single door opening that is noted to filled in Building "B" and it shall be toothed into the existing masonry wall.	1
26	Dotson Company	Building "B" rolling shutter 110 spec's say between jamb mounting vs. dwg's show surface mounted. What do you want?	Rolling counter shutter 110 shall be between jamb mounted.	1
27	Dotson Company	Building "B" Garage Room 101. Confirm no rubber base except new work.	Rubber base has been deleted from any areas in Garage 101.	1
28	Dotson Company	Building "B" Garage Room 101. Confirm painting walls & ceiling. Do you want to paint rigid frames, girts, purlins only or spray vinyl facing on insulation or both?	Note above Garage 101 finishes on sheet A1.02 states finishes on new construction only.	1
29	Dotson Company	Building "C" - confirm what to do with interior demo. Wall @ column line 'A'=exposed wood, no insulation. Wall@column line 11=half exposed wood no insul'n, from door opening to Col. 11 is gypsum board. Do you want removed down to exposed wood? Wall@ column line F=half gypsum board + insulation and half just exposed insul'n. - Please advise what to do.	We are puzzled by this question since the only General Trades demolition work in Building 'C' is along column line 'F' at the location of new doors. The details show the extend of new work and demolition should address the removal required to install the new work. The other areas listed in the question have not General Trades demolition work.	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
30	Dotson Company	Confirm no work on existing wall along column line #5.	Only work on the existing wall along column line '5' is associated with new work and penetrations shown on drawings.	1
31	Dotson Company	Provide engineering for removal of intermediate col's between main building columns and new door openings 114D, 114F & 114H.	Sheet A1.01, Detail C5 "Overhead Door Details".	1
32	Dotson Company	Main building column 'F7' is half rotted off @ floor line.	Refer to sheet A1.01, Detail C5 "Overhead Door Details". This was identified and provided for new support in these details.	1
33	Dotson Company	Building "C" - confirm wall finishes. Paint walls - existing bare wood or what? Rubber wall base? Over what?	Interior wall surfaces, columns, trusses, misc. exposed framing shall be painted. Rubber base has been deleted from this area.	1
34	Dotson Company	Building "C" - Alternate Standing Seam Roof. Question roof insulation spec for over exist. 2x purlins or think a insulated roof panel would be better. Confirm all new gable trim, fascia/soffit along column line A & F. Confirm no gutters and downspouts.	There is no roof insulation specified or detailed associated with Building "C". For base bid roofing: vertical fascia and soffits shall remain. Existing rake profile and flashing shall be new. Alternate 1: Provide all new trim including vertical fascia and soffit panels.	1
35	Dotson Company	Building "C" - Base Bid interior roof demo. 2/3 is exposed 2x purlins + back of exposed corrugated roof panels. 1/3 is insul'n, etc. Confirm you want 1/3 to look like 2/3.	All new base bid corrugated roofing is exposed to interior. No spray-applied insulation is requested, specified or required.	1
36	Dotson Company	Building "D" - existing drywall has plaster or knockdown type finish, confirm what to do when new drywall meets existing.	Question will be answered in Addendum #002	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
37	Dotson Company	Building "D" - (2) new aluminum windows detail 6/A301 shows tubular aluminum, spec's 085113 says dbl. hung, existing windows like like fiberglas/vinyl. Champion Windows? Project Labor Agreement? Please advise.	Windows in question shall be aluminum, double-hung units as specified in Section 085113. Finish color on aluminum to match existing windows as closely as possible with Architect's approval.	1
38	Dotson Company	Building "D" - confirm concrete pad for heat pump is by mechanical contractor.	Confirmed	1
39	Dotson Company	Building "C+D" - Need chain link fence spec. Also are posts cored in floor or base plate with expansion bolts. Confirm no top over fenced in area.	Chain link fencing shall be typical galvanized steel weave, 9 gauge, with 9 gauge ties. Corner and tension posts shall be minimum of 2" diameter. Intermediate posts, top and bottom rails shall be 1-5/8" diameter. Fabric shall meet ASTM A 392, Class I, 1.2 oz/sq. ft. with zinc coating. Comply with ASTM F 1043 for framing and ASTM F 900 for gate. Gate shall be provided with receiving for padlock. Fencing shall be 10'-0" height above finish floor as indicated with no fence fabric forming a roof enclosure.	1
40	Dotson Company	FYI - Existing C.B. btw. Col's 8 & 9 east of Bldg "C". Confirm direction of drain pipe will door steel bumper post hit line?	This condition will be investigated and direction provided in Addendum 002.	1
41	Dimech	Drawings A0.11 and A1.01 indicate the plumbing wall between Women's Room 109 and Men's Room 110 does not get removed. Can this wall be removed and rebuilt in the General Contractors scope of work to allow for the cutting and patching of concrete floor for the plumbing waste, vent and water rough for new fixtures?	Drawings have been revised to show the existing wall between Women's 109 and Men's 110 being demolished and a new wall constructed.	1

BIDDER QUESTIONS

Question Number	Question From	Question	Answer	Answered in Addendum:
42	Dotson Company	Is a steel stud wall with fiberglass insulation and gypsum board finish required on the north wall of Data 107?	See drawing A1.01 and related notes issued with Addendum 002	2
43	Dotson Company	Please provide clarification if existing insulation and gypsum board along the east and portion of south wall of Building 'C' is to be removed.	Refer to sheet A0.11 for new demolition notes and indicators for removal of existing wall materials in Building 'C'.	2
44	Dotson Company	Please advise lock manufacturer and keyway of existing building keying system.	Existing locksets on doors are Falcon . Keyway designation was added to the Hardware Specification.	2
45	Dotson Company	FYI - Existing C.B. btw. Col's 8 & 9 east of Bldg "C". Confirm direction of drain pipe will door steel bumper post hit line?	It is difficult to make an accurate determination if there will be interference with this existing catch basin. Any adjustments will be made after award when new door openings are formed and an accurate determination of the conditions are visible.	2

SECTION F - PRICING

PRICING SHEET

RENOVATIONS TO BUILDINGS B, C AND D AT 1049 S. McCORD ROAD

Company Name: _____

Street Address: _____

City, State, Zip: _____

Mailing Address:
(If Different) _____

Contact Name: _____

Telephone No.: _____

Fax No.: _____

Email Address: _____

Due: December 17, 2012 @ 2:00 PM LOCAL TIME

To: Lucas County Support Services, Purchasing Division
One Government Center, Suite 480
Toledo, Ohio 43604-2247

We, the undersigned, having carefully examined the Bid Documents agree to perform all work required by these documents heretofore submitted to bidder, as modified by addenda listed herein.

1.0 BASE BIDS – BUILDING B

1.1 – General Trades Contract: (Estimate: \$ 107,200.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____

_____ Dollars \$ _____

1.2 – Plumbing Contract (Estimate: \$ 38,000.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

1.3 – HVAC Contract (Estimate: \$ 51,250.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

1.4 – Electrical / Data / Communications Contract (Estimate: \$ 107,000.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

1.4.1 – Site Technology

Provide the amount included in the above bid for the Site Technology portion of the work:

Base Bid Amount: _____
_____ Dollars \$ _____

2.0 COMBINED BASE BIDS – BUILDING B

2.1 – Combined Plumbing and HVAC Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

3.0 BASE BIDS – BUILDINGS C AND D

3.1 – General Trades Contract (Estimate: \$ 196,900.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

3.2 – Plumbing Contract (Estimate: \$ 52,000.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

3.3 – HVAC Contract (Estimate: \$ 77,200.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

3.4 – Electrical / Data / Communications Contract (Estimate: \$ 134,000.00):

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, required allowances, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

4.0 COMBINED BASE BIDS – BUILDINGS C AND D

4.1 – Combined Plumbing and HVAC Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

5.0 COMBINED BIDS FOR BUILDINGS B, C AND D

5.1 – General Trades Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for Buildings B, C and D for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

5.2 – Plumbing Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

5.3 – HVAC Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

5.4 – Electrical / Data / Communications Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

6.0 COMBINED BIDS – BUILDINGS B, C AND D

6.1 – Combined Plumbing and HVAC Contract:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

7.0 ALTERNATE BID – BUILDINGS C AND D

7.1 – Standing Seam Metal Roof System Over Building C:

Provide all necessary labor, material, supervision, taxes, insurance, cartage, storage, temporary protection, tools, equipment, layout, field engineering, and all things necessary or incidental to furnish, deliver and install complete in every detail the Work as defined by the Drawings and Specifications to provide a field-seamed Standing Seam Metal Roof System for the lump sum price of:

Base Bid Amount: _____
_____ Dollars \$ _____

8.0 TAXES

Project is tax exempt.

9.0 UNIT PRICES

1. Unit prices will be used to determine the cost for work that is not inclusive or a part of the base bid for unknown items which may be incorporated into the Contract Price by way of a Change Order as determined by the Owner's Representative.
2. Unit prices will be used to determine the amount to be added to, or deducted from, the bid price for minor adjustments to the specified scope of work.

11.0 ADDENDA

In the event that addenda have been received during the bidding period covering changes to the bid documents, the undersigned bidder subscribes to the following statement:

The work described in the following addenda is included in this proposal:

Addendum No. _____ Dated: _____

12.0 TIME OF COMPLETION

The undersigned bidder agrees to complete the work in accordance with the Bid Documents within _____ consecutive calendar days from date of Notice to Proceed.

13.0 REJECTION OF BIDS

The undersigned bidder acknowledges that the Owner reserves the right to reject any and all proposals and to award the work to other than the low bidder.

All bids will be opened publicly.

14.0 SITE INSPECTION

The undersigned bidder acknowledges that bidder has been afforded the opportunity to inspect the jobsite to arrive at a clear understanding of the Conditions under which the work is to be done; to compare the site with the drawings and specifications; to satisfy bidder as to the condition of the premises; existing obstructions; condition, location, and size and configuration of buildings and areas allocated for construction purposes; location and availability of roads; location and availability of utilities, including the electrical characteristics of the available power; proximity and nature of Owner's existing operations; and any other conditions affecting the performance of the work.

No allowances or extra consideration on behalf of the undersigned bidder will be allowed by Owner by reason of additional costs, damages or other difficulties incurred by the undersigned bidder that could have been avoided had an adequate site inspection been undertaken by him.

15.0 EEO

The undersigned bidder agrees to comply with all applicable local, state, and federal EEO.

16.0 BID GUARANTEE

The undersigned bidder agrees that this proposal will remain firm for a period of not less than sixty (60) days and extended past sixty (60) days when in accordance with the requirements of the instructions to bidders.

17.0 LEGAL STATUS AND SIGNATURE OF BIDDER

Check one of the following:

- a. Bidder is an individual _____.
- b. Bidder is a corporation _____.
- c. Bidder is a partnership _____.

1) If Corporation -
State of Corporation _____

States in which qualified to do business -

2) If partnership, list names of all partners.

Name of Contractor

By (Signature)

Title

Address of Bidder

SECTION 011200 - MULTIPLE CONTRACT SUMMARY

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes a summary of each contract, including responsibilities for coordination and temporary facilities and controls.
- B. Specific requirements for Work of each contract are also indicated in individual Specification Sections and on Drawings.
- C. Related Requirements:
 - 1. Section 011000 "Summary" for the Work covered by the Contract Documents, restrictions on use of Project site, coordination with occupants, and work restrictions.
 - 2. Section 013100 "Project Management and Coordination" for general coordination requirements.

1.3 DEFINITIONS

- A. Permanent Enclosure: As determined by Architect, the condition at which roofing is insulated and weathertight; exterior walls are insulated and weathertight; and all openings are closed with permanent construction or substantial temporary closures equivalent in weather protection to permanent construction.

1.4 LEAD CONTRACTOR

- A. Lead Contractor shall be responsible for coordination between the General Construction Contract, Plumbing Contract, HVAC Contract, and Electrical Contract. The Lead Contractor for this project shall be the General Construction (Trades) Contractor.

1.5 COORDINATION ACTIVITIES

- A. Coordination activities of Lead Contractor include, but are not limited to, the following:
 - 1. Provide overall coordination of the Work.
 - 2. Coordinate shared access to workspaces.
 - 3. Coordinate product selections for compatibility.
 - 4. Provide overall coordination of temporary facilities and controls.
 - 5. Coordinate, schedule, and approve interruptions of permanent and temporary utilities, including those necessary to make connections for temporary services.
 - 6. Coordinate construction and operations of the Work with work performed by each Contract.

7. Prepare coordination drawings in collaboration with each contractor to coordinate work by more than one contract.
 8. Coordinate sequencing and scheduling of the Work. Include the following:
 - a. Initial Coordination Meeting: At earliest possible date, arrange and conduct a meeting with contractors for sequencing and coordinating the Work; negotiate reasonable adjustments to schedules.
 - b. Prepare a combined contractors' construction schedule for entire Project. Base schedule on preliminary construction schedule. Secure time commitments for performing critical construction activities from contractors. Show activities of each contract on a separate sheet. Prepare a simplified summary sheet indicating combined construction activities of contracts.
 - 1) Submit schedules for approval.
 - 2) Distribute copies of approved schedules to contractors.
 9. Provide photographic documentation.
 10. Coordinate sequence of activities to accommodate tests and inspections, and coordinate schedule of tests and inspections.
 11. Provide information necessary to adjust, move, or relocate existing utility structures affected by construction.
 12. Provide progress cleaning of common areas and coordinate progress cleaning of areas or pieces of equipment where more than one contractor has worked.
 13. Coordinate cutting and patching.
 14. Coordinate protection of the Work.
 15. Coordinate firestopping.
 16. Coordinate completion of interrelated punch list items.
 17. Coordinate preparation of Project record documents if information from more than one contractor is to be integrated with information from other contractors to form one combined record.
 18. Print and submit record documents if installations by more than one contractor are indicated on the same contract drawing or shop drawing.
 19. Collect record Specification Sections from contractors, collate Sections into numeric order, and submit complete set.
 20. Coordinate preparation of operation and maintenance manuals if information from more than one contractor is to be integrated with information from other contractors to form one combined record.
- B. Responsibilities of Lead Contractor for temporary facilities and controls include, but are not limited to, the following:
1. Provide telephone service for common-use facilities.
 2. Portable toilets.
 3. Potable drinking water.
 4. Waste disposal and recycling containers.

1.6 GENERAL REQUIREMENTS OF CONTRACTS

- A. Extent of Contract: Unless the Agreement contains a more specific description of the Work of each Contract, requirements indicated on Drawings and in Specification Sections determine which contract includes a specific element of Project.
1. Unless otherwise indicated, the work described in this Section for each contract shall be complete systems and assemblies, including products, components, accessories, and installation required by the Contract Documents.

2. Trenches and other excavation for the work of each contract shall be the work of each contract for its own work. Lead Contractor shall be responsible for coordination of trenches, excavation, backfill and repair of concrete floor.
 3. Blocking, backing panels, sleeves, and metal fabrication supports for the work of each contract shall be the work of each contract for its own work.
 4. Furnishing of access panels for the work of each contract shall be the work of each contract for its own work. Installation of access panels shall be the work of the General Construction Contract.
 5. Equipment pads for the work of each contract shall be the work of each contract for its own work.
 6. Roof-mounted equipment curbs for the work of each contract shall be the work of each contract for its own work.
 7. Painting for the work of each contract shall be the work of the General Construction Contract.
 8. Cutting and Patching: Provided under each contract for its own work.
 9. Through-penetration firestopping for the work of each contract shall be provided by each contract for its own work.
 10. Contractors' Startup Construction Schedule: Within five working days after startup horizontal bar-chart-type construction schedule submittal has been received from Project coordinator, submit a matching startup horizontal bar-chart schedule showing construction operations sequenced and coordinated with overall construction.
- B. Substitutions: Each contractor shall cooperate with other contractors involved to coordinate approved substitutions with remainder of the work.
1. Lead Contractor shall coordinate substitutions.
- C. Temporary Facilities and Controls: In addition to specific responsibilities for temporary facilities and controls indicated in this Section and in Section 015000 "Temporary Facilities and Controls," each contractor is responsible for the following:
1. Installation, operation, maintenance, and removal of each temporary facility necessary for its own normal construction activity, and costs and use charges associated with each facility, except as otherwise provided for in this Section.
 2. Plug-in electric power cords and extension cords, supplementary plug-in task lighting, and special lighting necessary exclusively for its own activities.
 3. Its own storage and fabrication sheds.
 4. Temporary enclosures for its own construction activities.
 5. Staging and scaffolding for its own construction activities.
 6. General hoisting facilities for its own construction activities, up to **2 tons (2000 kg)**.
 7. Waste disposal facilities, including collection and legal disposal of its own hazardous, dangerous, unsanitary, or other harmful waste materials.
 8. Progress cleaning of work areas affected by its operations on a daily basis.
 9. Secure lockup of its own tools, materials, and equipment.
 10. Construction aids and miscellaneous services and facilities necessary exclusively for its own construction activities.
- D. Temporary Heating, Cooling, and Ventilation: The ~~HVAC~~ **Lead Contractor** is responsible for temporary heating, cooling, and ventilation, including temporary connections.
- E. Use Charges: Comply with the following:
1. Water Service: The Owner will provide water service, whether metered or otherwise, for water used by all entities engaged in construction activities at Project site.
 2. Electric Power Service: The Owner will provide electric power service, whether metered or otherwise, for electricity used by all entities engaged in construction activities at Project site.

1.7 GENERAL CONSTRUCTION CONTRACT

- A. Work in the General Construction Contract includes, but is not limited to, the following:
1. Remaining work not identified as work under other contracts.
 2. Selective demolition.
 3. Slabs-on-grade, including earthwork, subdrainage systems, and insulation.
 4. Exterior closure, including walls, doors, windows.
 5. Roofing, including coverings, flashings roof specialties and glazed openings.
 6. Interior construction, including partitions, doors, interior glazed openings, and fittings.
 7. Fire-protection specialties.
 8. Stairs, including railings and finishes.
 9. Interior finishes architectural woodwork and built-in casework.
 10. Miscellaneous items, including painting of mechanical and electrical work.
- B. Temporary facilities and controls in the General Construction Contract include, but are not limited to, the following:
1. Temporary facilities and controls that are not otherwise specifically assigned to the Plumbing Contract, HVAC Contract, and Electrical Contract.
 2. Unpiped temporary toilet fixtures, wash facilities, and drinking water facilities, including disposable supplies.
 3. Temporary enclosure for building exterior, except as indicated.
 4. General waste disposal facilities.
 5. Temporary fire-protection facilities.
 6. Barricades, warning signs, and lights.
 7. Environmental protection.

1.8 PLUMBING CONTRACT

- A. Work in the Plumbing Contract includes, but is not limited to, the following:
1. Plumbing fixtures.
 2. Domestic water distribution.
 3. Sanitary waste.
 4. Special plumbing systems, including the following:
 - a. Natural gas.
 5. Plumbing connections to equipment furnished by the General Construction Contract, Plumbing Contract, HVAC Contract and Electrical Contract.
- B. Temporary facilities and controls in the Plumbing Contract include, but are not limited to, the following:
1. Potable water supply from existing service for use during project.

1.9 HVAC CONTRACT

- A. Work in the HVAC Contract includes, but is not limited to, the following:
1. Energy supply, including gas supply systems.
 2. HVAC systems and equipment.
 3. HVAC instrumentation and controls.

4. HVAC testing, adjusting, and balancing.
5. Building automation system.
6. Mechanical connections to equipment furnished by the General Construction Contract, Plumbing Contract, HVAC Contract, and Electrical Contract.

1.10 ELECTRICAL CONTRACT

A. Work in the Electrical Contract includes, but is not limited to, the following:

1. Electrical service and distribution.
2. Exterior and interior lighting.
3. Communication and security.
4. Site Technology and fiber optic cabling.
5. Electrical connections to equipment furnished by the General Construction Contract, Plumbing Contract, HVAC Contract, and Electrical Contract.

B. Temporary facilities and controls in the Electrical Contract include, but are not limited to, the following:

1. Electric power service and distribution.
2. Lighting, including site lighting.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011200

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
 - 1. Certain items are specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.
- B. Types of allowances include the following:
 - 1. Contingency allowances.

1.3 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs for equipment and labor only. No overhead and profit margins will be included in the Contingency Allowance expenditures.
- C. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.
- D. Contingency Allowances are indicated by contract including general trades, plumbing, fire protection (if any), mechanical and electrical contracts and must be included in the bidder's bid number, including combined bids.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: General Trades Contingency Allowance: Include a contingency allowance of \$20,000.00 for use according to Owner's written instructions.

1. If preparing bids separately for general trades or bidding only one building provide the following General Trades Contingency Allowance as noted.
 - a. Building 'B': \$10,000.00.
 - b. Building 'C-D': \$10,000.00.

- B. Allowance No. 2: Plumbing Contingency Allowance: Include a contingency allowance of \$10,000.00 for use according to Owner's written instructions.
 1. If preparing bids separately for plumbing or bidding only one building provide the following Plumbing Contingency Allowance as noted.
 - a. Building 'B': \$3,000.00.
 - b. Building 'C-D': \$7,000.00.

- C. Allowance No. 3: Mechanical Contingency Allowance: Include a contingency allowance of \$10,000.00 for use according to Owner's written instructions.
 1. If preparing bids separately for mechanical or bidding only one building provide the following Mechanical Contingency Allowance as noted.
 - a. Building 'B': \$5,000.00.
 - b. Building 'C-D': \$5,000.00.

- D. Allowance No. 4: Electrical Contingency Allowance: Include a contingency allowance of \$15,000.00 for use according to Owner's written instructions.
 1. If preparing bids separately for electrical or bidding only one building provide the following Electrical Contingency Allowance as noted.
 - a. Building 'B': \$5,000.00.
 - b. Building 'C-D': \$10,000.00.

- E. **Allowance No. 5: Temporary Heating Allowance: Include a contingency allowance of \$20,000.00 for use according to Owner's written instructions to be included in the Lead (General) Contract only.**
 1. **If preparing bids separately or bidding only one building provide the following Temporary Heating Allowance as noted.**
 - a. **Building 'B': \$10,000.00.**
 - b. **Building 'C-D': \$10,000.00.**

- F. **Allowance No. 6: Interior Signage Allowance: Include a contingency allowance of \$5,000.00 for use according to Owner's written instructions to be included in the Lead (General) Contract only.**
 1. **If preparing bids separately or bidding only one building provide the following Interior Signage Allowance as noted.**
 - a. **Building 'B': \$3,000.00.**
 - b. **Building 'C-D': \$2,000.00.**

END OF SECTION 012100

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

- A. Alternate No. 1: Standing Seam Metal Roofing Over Building 'C'.
1. Base Bid: Remove existing metal roofing from Building 'C' and provide new corrugated, lap seam, metal roofing panels as indicated on Sheet A1.02 "Roof Plan, Enlarged Plans & Interior Elevations" and as specified in Section 074113.13 "Formed Metal Roof Panels."
 2. Alternate: Remove existing metal roofing from Building 'C' and provide new standing-seam, metal roofing panels as indicated on Sheet A1.02 "Roof Plan, Enlarged Plans & Interior Elevations" and as specified in Section 074113.16 "Standing-Seam Metal Roof Panels."
- B. Alternate No. 2: Replacement of Existing Windows in Building 'D'.
1. Base Bid: Refer to notes on sheet A1.01. Replace existing wood stools with solid surface stools configured to match existing. Trim out window jambs and head with gypsum board, tape, finish and paint colors as indicated on Finish Plan.
 2. Alternate: Remove existing window units and related exterior trim, flashing and sealants and all interior trim, stools and similar items. Examine existing wood blocking and replace areas where decayed or rotted. Install new aluminum double-hung window units as specified in Section 085113-Aluminum Windows. Provide new metal flashing, jamb and sill trim on exterior in color to match existing metal siding. Provide new interior gypsum board on jambs and head and solid surface stool at all locations. Provide sealants at all joints with construction and dissimilar materials. Tape, finish and paint interior gypsum surfaces to match surrounding wall colors as shown on Finish Plan.

END OF SECTION 012300

SECTION 087100 - DOOR HARDWARE

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes:
 - 1. Mechanical door hardware for the following:
 - a. Swinging doors.
 - 2. Cylinders for door hardware specified in other Sections.
- B. Related Sections:
 - 1. Section 081113 "Hollow Metal Doors and Frames".

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product indicated. Include construction and installation details, material descriptions, dimensions of individual components and profiles, and finishes.
- B. Samples for Initial Selection: For plastic protective trim units in each finish, color, and texture required for each type of trim unit indicated.
- C. Other Action Submittals:
 - 1. Door Hardware Schedule: Prepared by or under the supervision of Installer, detailing fabrication and assembly of door hardware, as well as installation procedures and diagrams. Coordinate final door hardware schedule with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
 - a. Submittal Sequence: Submit door hardware schedule concurrent with submissions of Product Data, Samples, and Shop Drawings. Coordinate submission of door hardware schedule with scheduling requirements of other work to facilitate the fabrication of other work that is critical in Project construction schedule.
 - b. Format: Use same scheduling sequence and format and use same door numbers as in the Contract Documents.
 - c. Content: Include the following information:
 - 1) Identification number, location, hand, fire rating, size, and material of each door and frame.
 - 2) Locations of each door hardware set, cross-referenced to Drawings on floor plans and to door and frame schedule.

- 3) Complete designations, including name and manufacturer, type, style, function, size, quantity, function, and finish of each door hardware product.
- 4) Fastenings and other pertinent information.
- 5) Explanation of abbreviations, symbols, and codes contained in schedule.
- 6) Mounting locations for door hardware.
- 7) List of related door devices specified in other Sections for each door and frame.

2. Keying Schedule: Prepared by or under the supervision of Installer, detailing Owner's final keying instructions for locks. Include schematic keying diagram and index each key set to unique door designations that are coordinated with the Contract Documents.

1.4 INFORMATIONAL SUBMITTALS

- A. Warranty: Special warranty specified in this Section.

1.5 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For each type of door hardware to include in maintenance manuals. Include final hardware and keying schedule.

1.6 QUALITY ASSURANCE

- A. Installer Qualifications: Supplier of products and an employer of workers trained and approved by product manufacturers and an Architectural Hardware Consultant who is available during the course of the Work to consult with Contractor, Architect, and Owner about door hardware and keying.

1. Warehousing Facilities: In Project's vicinity.
2. Scheduling Responsibility: Preparation of door hardware and keying schedules.

- B. Source Limitations: Obtain each type of door hardware from a single manufacturer.

- C. Means of Egress Doors: Latches do not require more than **15 lbf (67 N)** to release the latch. Locks do not require use of a key, tool, or special knowledge for operation.

- D. Accessibility Requirements: For door hardware on doors in an accessible route, comply with ICC/ANSI A117.1.

1. Provide operating devices that do not require tight grasping, pinching, or twisting of the wrist and that operate with a force of not more than **5 lbf (22.2 N)**.
2. Comply with the following maximum opening-force requirements:
 - a. Interior, Non-Fire-Rated Hinged Doors: **5 lbf (22.2 N)** applied perpendicular to door.
 - b. Fire Doors: Minimum opening force allowable by authorities having jurisdiction.
3. Bevel raised thresholds with a slope of not more than 1:2. Provide thresholds not more than **1/2 inch (13 mm)** high.
4. Adjust door closer sweep periods so that, from an open position of 70 degrees, the door will take at least 3 seconds to move to a point **3 inches (75 mm)** from the latch, measured to the leading edge of the door.

1.7 DELIVERY, STORAGE, AND HANDLING

- A. Inventory door hardware on receipt and provide secure lock-up for door hardware delivered to Project site.
- B. Tag each item or package separately with identification coordinated with the final door hardware schedule, and include installation instructions, templates, and necessary fasteners with each item or package.

1.8 COORDINATION

- A. Coordinate layout and installation of floor-recessed door hardware with floor construction. Cast anchoring inserts into concrete.
- B. Installation Templates: Distribute for doors, frames, and other work specified to be factory prepared. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing door hardware to comply with indicated requirements.
- C. Security: Coordinate installation of door hardware, keying, and access control with Owner's security consultant.
- D. Existing Openings: Where hardware components are scheduled for application to existing construction or where modifications to existing door hardware are required, field verify existing conditions and coordinate installation of door hardware to suit opening conditions and to provide proper door operation.

1.9 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of door hardware that fail in materials or workmanship within specified warranty period.
 - 1. Failures include, but are not limited to, the following:
 - a. Structural failures including excessive deflection, cracking, or breakage.
 - b. Faulty operation of doors and door hardware.
 - c. Deterioration of metals, metal finishes, and other materials beyond normal weathering and use.
 - 2. Warranty Period: Three years from date of Substantial Completion, unless otherwise indicated.
 - a. Electromagnetic Locks: Five years from date of Substantial Completion.
 - b. Manual Closers: 10 years from date of Substantial Completion.

1.10 MAINTENANCE SERVICE

- A. Maintenance Tools and Instructions: Furnish a complete set of specialized tools and maintenance instructions for Owner's continued adjustment, maintenance, and removal and replacement of door hardware.
- B. Maintenance Service: Beginning at Substantial Completion, provide six months' full maintenance by skilled employees of door hardware Installer. Include quarterly preventive maintenance, repair or

replacement of worn or defective components, lubrication, cleaning, and adjusting as required for proper door and door hardware operation. Provide parts and supplies that are the same as those used in the manufacture and installation of original products.

PART 2 - PRODUCTS

2.1 SCHEDULED DOOR HARDWARE

- A. Provide door hardware for each door as scheduled in Part 3 "Door Hardware Schedule" Article to comply with requirements in this Section.
 - 1. Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and named manufacturers' products or products equivalent in function and comparable in quality to named products from list of approved manufacturers.
 - 2. Sequence of Operation: Provide electrified door hardware function, sequence of operation, and interface with other building control systems indicated.
- B. Designations: Requirements for design, grade, function, finish, size, and other distinctive qualities of each type of door hardware are indicated in Part 3 "Door Hardware Schedule" Article. Products are identified by using door hardware designations, as follows:
 - 1. Named Manufacturers' Products: Manufacturer and product designation are listed for each door hardware type required for the purpose of establishing minimum requirements. Manufacturers' names are abbreviated in Part 3 "Door Hardware Schedule" Article.
 - 2. References to BHMA Designations: Provide products complying with these designations and requirements for description, quality, and function.

2.2 HINGES

- A. Hinges: BHMA A156.1. Provide template-produced hinges for hinges installed on hollow-metal doors and hollow-metal frames.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Baldwin Hardware Corporation.
 - b. Hager Companies.
 - c. IVES Hardware; an Ingersoll-Rand company.
 - d. McKinney Products Company; an ASSA ABLOY Group company.
 - e. Stanley Commercial Hardware; Div. of The Stanley Works.

2.3 MECHANICAL LOCKS AND LATCHES

- A. Lock Functions: As indicated in door hardware schedule.
- B. Lock Throw: Comply with testing requirements for length of bolts required for labeled fire doors, and as follows:
 - 1. Bored Locks: Minimum **1/2-inch (13-mm)** latchbolt throw.
- C. Lock Backset: **2-3/4 inches (70 mm)**, unless otherwise indicated.

- D. Lock Trim:
1. Description: As indicated by manufacturer's designations in schedule.
 2. Levers: Cast.
 3. Escutcheons (Roses): Cast.
 4. Dummy Trim: Match lever lock trim and escutcheons.
 5. Operating Device: Lever with escutcheons (roses).
- E. Strikes: Provide manufacturer's standard strike for each lock bolt or latchbolt complying with requirements indicated for applicable lock or latch and with strike box and curved lip extended to protect frame; finished to match lock or latch.
1. Flat-Lip Strikes: For locks with three-piece antifriction latchbolts, as recommended by manufacturer.
 2. Extra-Long-Lip Strikes: For locks used on frames with applied wood casing trim.
 3. Aluminum-Frame Strike Box: Manufacturer's special strike box fabricated for aluminum framing.
 4. Rabbet Front and Strike: Provide on locksets for rabbeted meeting stiles.
- F. Bored Locks: BHMA A156.2; Grade 1; Series 4000.
1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Best Access Systems; Div. of Stanley Security Solutions, Inc.
 - b. Falcon Lock; An Ingersoll-Rand Company.
 - c. SARGENT Manufacturing Company; an ASSA ABLOY Group company.
 - d. Schlage Commercial Lock Division; an Ingersoll-Rand company.
 - e. Yale Security Inc.; an ASSA ABLOY Group company.

2.4 LOCK CYLINDERS

- A. Lock Cylinders: Tumbler type, constructed from brass or bronze, stainless steel, or nickel silver.
1. Manufacturer: Same manufacturer as for locking devices.
- B. Standard Lock Cylinders: BHMA A156.5; Grade 1; permanent cores that are removable; face finished to match lockset.

2.5 KEYING

- A. Keying System: Factory registered, complying with guidelines in BHMA A156.28, Appendix A. Incorporate decisions made in keying conference.
1. Key System: Coordinate with Owner and match existing building keying system.
 2. Keyed Alike: Key all cylinders to same change key.
- B. Keys: Nickel silver.
1. Stamping: Permanently inscribe each key with a visual key control number and include the following notation:
 - a. Notation: "DO NOT DUPLICATE."

2. Quantity: In addition to one extra key blank for each lock, provide the following:
 - a. Grand Master Keys: Five.

2.6 ACCESSORIES FOR PAIRS OF DOORS

- A. Astragals: BHMA A156.22.

2.7 SURFACE CLOSERS

- A. Surface Closers: BHMA A156.4; rack-and-pinion hydraulic type with adjustable sweep and latch speeds controlled by key-operated valves and forged-steel main arm. Comply with manufacturer's written recommendations for size of door closers depending on size of door, exposure to weather, and anticipated frequency of use. Provide factory-sized closers, adjustable to meet field conditions and requirements for opening force.
 1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Corbin Russwin Architectural Hardware; an ASSA ABLOY Group company.
 - b. DORMA Architectural Hardware; Member of The DORMA Group North America.
 - c. LCN Closers; an Ingersoll-Rand company.
 - d. Norton Door Controls; an ASSA ABLOY Group company.
 - e. SARGENT Manufacturing Company; an ASSA ABLOY Group company.
 - f. Yale Security Inc.; an ASSA ABLOY Group company.

2.8 MECHANICAL STOPS AND HOLDERS

- A. Wall- and Floor-Mounted Stops: BHMA A156.16; polished cast brass, bronze, or aluminum base metal.
 1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Architectural Builders Hardware Mfg., Inc.
 - b. Burns Manufacturing Incorporated.
 - c. Hager Companies.
 - d. IVES Hardware; an Ingersoll-Rand company.
 - e. Rockwood Manufacturing Company.

2.9 OVERHEAD STOPS AND HOLDERS

- A. Overhead Stops and Holders: BHMA A156.8.
 1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Architectural Builders Hardware Mfg., Inc.
 - b. Glynn-Johnson; an Ingersoll-Rand company.
 - c. Rockwood Manufacturing Company.

2.10 DOOR GASKETING

- A. Door Gasketing: BHMA A156.22; air leakage not to exceed **0.50 cfm per foot (0.000774 cu. m/s per m)** of crack length for gasketing other than for smoke control, as tested according to ASTM E 283; with resilient or flexible seal strips that are easily replaceable and readily available from stocks maintained by manufacturer.
1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. National Guard Products.
 - b. Pemko Manufacturing Co.; an ASSA ABLOY Group company.
 - c. Reese Enterprises, Inc.
 - d. Zero International.

2.11 AUXILIARY DOOR HARDWARE

- A. Auxiliary Hardware: BHMA A156.16.
1. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on schedule or comparable product by one of the following:
 - a. Baldwin Hardware Corporation.
 - b. Hager Companies.
 - c. Rockwood Manufacturing Company.

2.12 FABRICATION

- A. Manufacturer's Nameplate: Do not provide products that have manufacturer's name or trade name displayed in a visible location except in conjunction with required fire-rated labels and as otherwise approved by Architect.
1. Manufacturer's identification is permitted on rim of lock cylinders only.
- B. Base Metals: Produce door hardware units of base metal indicated, fabricated by forming method indicated, using manufacturer's standard metal alloy, composition, temper, and hardness. Furnish metals of a quality equal to or greater than that of specified door hardware units and BHMA A156.18.
- C. Fasteners: Provide door hardware manufactured to comply with published templates prepared for machine, wood, and sheet metal screws. Provide screws that comply with commercially recognized industry standards for application intended, except aluminum fasteners are not permitted. Provide Phillips flat-head screws with finished heads to match surface of door hardware, unless otherwise indicated.
1. Concealed Fasteners: For door hardware units that are exposed when door is closed, except for units already specified with concealed fasteners. Do not use through bolts for installation where bolt head or nut on opposite face is exposed unless it is the only means of securely attaching the door hardware. Where through bolts are used on hollow door and frame construction, provide sleeves for each through bolt.
 2. Spacers or Sex Bolts: For through bolting of hollow-metal doors.
 3. Gasketing Fasteners: Provide noncorrosive fasteners for exterior applications and elsewhere as indicated.

2.13 FINISHES

- A. Provide finishes complying with BHMA A156.18 as indicated in door hardware schedule.
- B. Protect mechanical finishes on exposed surfaces from damage by applying a strippable, temporary protective covering before shipping.
- C. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable if they are within one-half of the range of approved Samples. Noticeable variations in the same piece are not acceptable. Variations in appearance of other components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine doors and frames, with Installer present, for compliance with requirements for installation tolerances, labeled fire-rated door assembly construction, wall and floor construction, and other conditions affecting performance.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Steel Doors and Frames: For surface applied door hardware, drill and tap doors and frames according to ANSI/SDI A250.6.
- B. Wood Doors: Comply with DHI WDHS.5 "Recommended Hardware Reinforcement Locations for Mineral Core Wood Flush Doors."

3.3 INSTALLATION

- A. Mounting Heights: Mount door hardware units at heights to comply with the following unless otherwise indicated or required to comply with governing regulations.
 - 1. Standard Steel Doors and Frames: ANSI/SDI A250.8.
 - 2. Custom Steel Doors and Frames: HMMA 831.
- B. Install each door hardware item to comply with manufacturer's written instructions. Where cutting and fitting are required to install door hardware onto or into surfaces that are later to be painted or finished in another way, coordinate removal, storage, and reinstallation of surface protective trim units with finishing. Do not install surface-mounted items until finishes have been completed on substrates involved.
 - 1. Set units level, plumb, and true to line and location. Adjust and reinforce attachment substrates as necessary for proper installation and operation.
 - 2. Drill and countersink units that are not factory prepared for anchorage fasteners. Space fasteners and anchors according to industry standards.
- C. Hinges: Install types and in quantities indicated in door hardware schedule but not fewer than the number recommended by manufacturer for application indicated or one hinge for every 30 inches (750 mm) of

door height, whichever is more stringent, unless other equivalent means of support for door, such as spring hinges or pivots, are provided.

- D. Intermediate Offset Pivots: Where offset pivots are indicated, provide intermediate offset pivots in quantities indicated in door hardware schedule but not fewer than one intermediate offset pivot per door and one additional intermediate offset pivot for every 30 inches (750 mm) of door height greater than 90 inches (2286 mm).
- E. Lock Cylinders: Install construction cores to secure building and areas during construction period.
- F. Thresholds: Set thresholds for exterior doors and other doors indicated in full bed of sealant complying with requirements specified in Section 079200 "Joint Sealants."
- G. Stops: Provide floor stops for doors unless wall or other type stops are indicated in door hardware schedule. Do not mount floor stops where they will impede traffic.
- H. Perimeter Gasketing: Apply to head and jamb, forming seal between door and frame.
- I. Meeting Stile Gasketing: Fasten to meeting stiles, forming seal when doors are closed.
- J. Door Bottoms: Apply to bottom of door, forming seal with threshold when door is closed.

3.4 ADJUSTING

- A. Initial Adjustment: Adjust and check each operating item of door hardware and each door to ensure proper operation or function of every unit. Replace units that cannot be adjusted to operate as intended. Adjust door control devices to compensate for final operation of heating and ventilating equipment and to comply with referenced accessibility requirements.
 - 1. Door Closers: Adjust sweep period to comply with accessibility requirements and requirements of authorities having jurisdiction.
- B. Occupancy Adjustment: Approximately six months after date of Substantial Completion, Installer's Architectural Hardware Consultant shall examine and readjust each item of door hardware, including adjusting operating forces, as necessary to ensure function of doors, door hardware, and electrified door hardware.

3.5 CLEANING AND PROTECTION

- A. Clean adjacent surfaces soiled by door hardware installation.
- B. Clean operating items as necessary to restore proper function and finish.
- C. Provide final protection and maintain conditions that ensure that door hardware is without damage or deterioration at time of Substantial Completion.

3.6 DOOR HARDWARE SCHEDULE

The following items are basis-of-design hardware manufacturers for the references in the hardware sets listed below. The number of items listed are per door leaf.

Hinges: Hagar
Lockset: Schlage
Cylinder: Medeco – Keyway Designation ‘C’
Closer: LCN
Door Operator: LCN
Stops: Ives
Seals: National Guard Products (NGP)
Silencers: Glynn Johnson
O.H. Stops: Glynn Johnson
Flush Bolts: Rockwood
Elec. Strikes: Von Duprin
Power Supply: Schlage
Kickplates: Rockwood
Push/Pulls: Rockwood
Threshold: National Guard Products (NGP)

BUILDING ‘B’ DOOR HARDWARE

HARDWARE SET NO. 001

DOOR NUMBERS: 100A (Existing door and frame to be replaced)

3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½ - NRP
1 ea Lockset ND92PDxRhodes-626
1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
1 Automatic Door Operators LCN 9142 with full cover; interface with door security operation
1 Elec. Strike 6211ALxFSExDSx24xUS32D
1 Power Supply PS904
1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
3 Silencers GJ64
1 Seals – NGP 152S, set for door head and jambs
1 Threshold – NGP 8425

HARDWARE SET NO. 002

DOOR NUMBERS: 100, 108, 108A and 109

3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
1 ea Lockset ND70PDxRhodes-626
1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
1 Closer 1461 x Cush-N-Stop - Alum
1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
3 Silencers GJ64D

HARDWARE SET NO. 003

DOOR NUMBERS: 105 and 107

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND80PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 LCN 1461x PA x HCUSH – ALUM (Push side)
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 O.H. Holder GJ90H – 26D (Door EX2 only)
- 1 Stop 400 – 26D

HARDWARE SET NO. 004

DOOR NUMBERS: 102 and 103

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND40SxRhodes-626
- 1 LCN 1461x PA x HCUSH – ALUM (Push side)
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 Stop 400 – 26D

HARDWARE SET NO. 005

DOOR NUMBERS: EX2, EX3, EX4, EX7, and EX9

Existing Hardware To Remain on Existing Doors.

BUILDING ‘C’ and ‘D’ DOOR HARDWARE

HARDWARE SET NO. 001

DOOR NUMBERS: 102 and 104

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½ - NRP
- 1 ea Lockset ND50PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 Closer 1461xPA – Alum
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 Stop WS401CVX – US26D

HARDWARE SET NO. 002

DOOR NUMBERS: 112

- 6 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND50PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 2 Flush Bolts 555-26Dx570 DP Strike
- 1 O.H. Stop GJ90Sx626 (inactive leaf)
- 1 Closer 1461 x HCUSH – Alum (active leaf only)
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64D
- 1 Seals 152SA, set for door head and jambs

HARDWARE SET NO. 003

DOOR NUMBERS: 113, 115, and 201

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND80PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 LCN 1461x PA x HCUSH – ALUM (Push side)
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 Stop WS401CVX – US26D

HARDWARE SET NO. 004

DOOR NUMBERS: 101

- 3 ea Butts BB1168 4 ½ x 4 ½ - 26D
- 1 ea Lockset ND60PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 Closer 4041xPA – Alum
- 1 Seals 152SA, set for door head and jambs
- 1 Sweep 200SA

HARDWARE SET NO. 005

DOOR NUMBERS: 106

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND73PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 Stop WS401CVX – US26D

HARDWARE SET NO. 006

DOOR NUMBERS: EX11 AND EX12

- 3 ea Hagar Butts BB1168 – 26D 4 ½ x 4 ½
- 1 ea Lockset ND73PDxRhodes-626
- 1 Cylinder 10*0500x6-PINx626 (Coordinate keying with Owner)
- 1 Closer 1461xPA – Alum
- 1 Kickplate K1050 10 x 2” L.D.W. x B4E – 32D
- 3 Silencers GJ64
- 1 Stop WS401CVX – US26D

HARDWARE SET NO. 007

DOOR NUMBERS: EX1

- 1 Automatic Door Operators LCN 9142 with full cover; interface with door security operation
Remaining Hardware To Remain

HARDWARE SET NO. 008

DOOR NUMBERS: EX2, EX4, EX4, EX7, EX8, EX9, EX10 and EX13

Existing Hardware To Remain.

END OF SECTION 087100

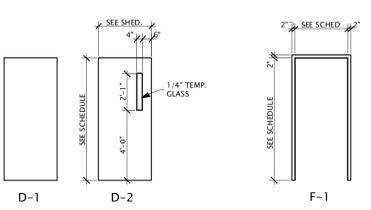
TOILET ROOM ACCESSORIES SCHEDULE				
ITEM	MANUFACTURER	MODEL #	REMARKS	
1	BOBRICK	B-5806x36 & B-5806x42		
2	BOBRICK	B-2888		
3	BOBRICK	B-5806x36 & B-5806x42		
4	BOBRICK	B-165 2436		
5	BOBRICK	B-2111		
6	BOBRICK	B-2116		
7	BOBRICK	B-3942		

REFER TO SHEET A0.22 FOR MOUNTING HEIGHT

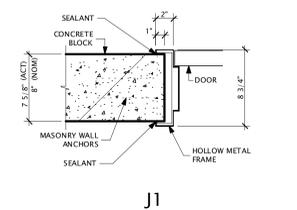
LINTEL SCHEDULE			
MASONRY OPENING	STRUCTURAL STEEL MEMBER	BEARING EACH END	
UP TO 4'-0"	1-L 3 1/2 x 3 1/2 x 1,4	4"	
4'-0" TO 7'-0"	1-L 5 x 3 1/2 x 5/16	6"	
7'-0" TO 10'-0"	1-L 6 x 3 1/2 x 3/8	8"	

UNLESS NOTED OTHERWISE ON PLANS, PROVIDE LINTELS OVER ALL OPENINGS IN MASONRY WALLS ACCORDING TO THIS SCHEDULE. LINTELS ARE SHOWN FOR EACH 4" OF WALL THICKNESS.

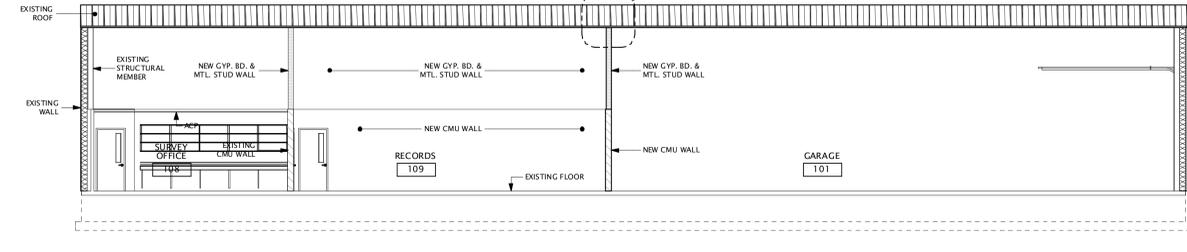
DOOR SCHEDULE												
No.	SIZE		Door			FRAME			HOW SET	FIRE RATING	REMARKS	
	W	HT	EL	MATL	FN	EL	H	J				MATL
100	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	2	3/4	
100A	3'-0"	7'-0"	D2	HM	P	F1	-	HM	PT	1	-	NEW DOOR & FRAME IN EXISTING OPENING
102	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	4	3/4	
103	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	4	3/4	
105	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	3	3/4	
106	4'-0"	7'-0"	-	-	-	-	-	-	-	-	-	FRAME ONLY
107	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	3	3/4	
108	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	2	3/4	
108A	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	2	3/4	
109	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	2	3/4	
110	4'-0"	3'-8"	-	-	-	-	-	-	-	-	-	
EX2	3'-0"	7'-0"	-	-	-	-	-	-	-	5	-	
EX7	3'-0"	7'-0"	-	-	-	-	-	-	-	5	-	
EX8	10'-0"	10'-0"	-	-	-	-	-	-	-	5	-	
EX9	3'-0"	7'-0"	-	-	-	-	-	-	-	5	-	
EX10	8'-0"	10'-0"	-	-	-	-	-	-	-	-	-	
EX11	8'-0"	10'-0"	-	-	-	-	-	-	-	-	-	
EX12	12'-0"	14'-0"	-	-	-	-	-	-	-	-	-	



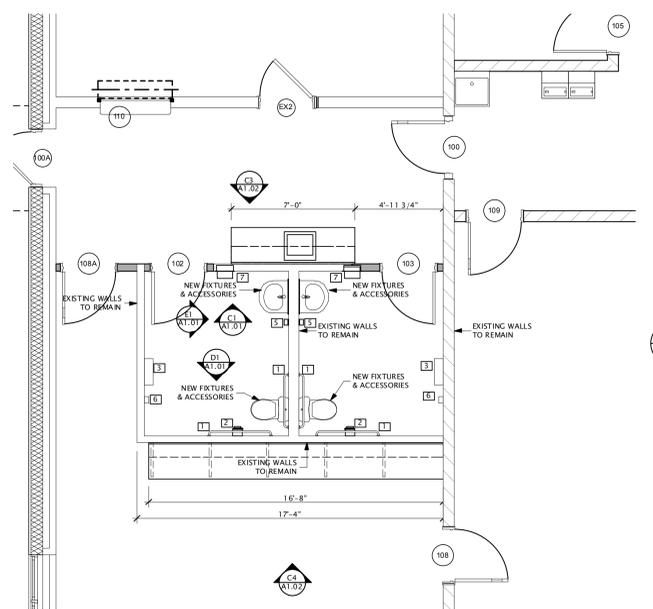
DOOR ELEVATIONS & FRAMES
SCALE: 1/4" = 1'-0"



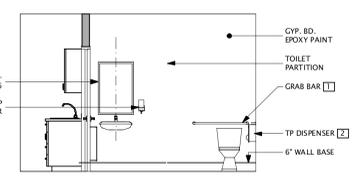
DOOR FRAME DETAILS
SCALE: 1 1/2" = 1'-0"



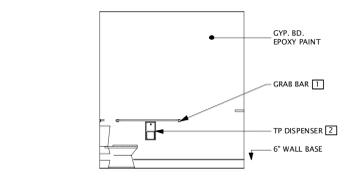
BUILDING SECTION
SCALE: 1/8" = 1'-0"



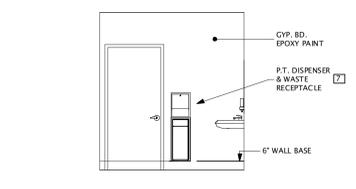
ENLARGED PLAN - RESTROOMS
SCALE: 1/4" = 1'-0"



MENS RESTROOM
SCALE: 1/4" = 1'-0"



MENS RESTROOM
SCALE: 1/4" = 1'-0"

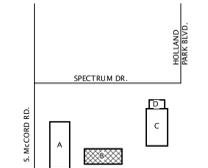


MENS RESTROOM
SCALE: 1/4" = 1'-0"

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ARCHITECTS
LANDSCAPE ARCHITECTS
INTERIOR DESIGNERS
PLANNERS



SITE KEY PLAN
N.T.S.

PROJECT TITLE
Lucas County Engineer Renovations to Building B
1049 S. McCord Road
Holland, Ohio

DATE	DESCRIPTION
12.10.2012	ADDENDUM 002
12.03.2012	ADDENDUM 001
11.07.2012	ISSUED FOR BIDDING
11.07.2012	ISSUED FOR PERMITS

CHECKED CV
APPROVED ARB

TCI JOB NO. 106050

SHEET TITLE
Floor Plans, Schedules & Details

SHEET NO.
A1.01

WALL TYPE 'A'
SCALE: 1 1/2" = 1'-0"

WALL TYPE 'E'
SCALE: 1 1/2" = 1'-0"

PARTIAL DEMO PLAN
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:
1. REMOVE LOOSE SEALANT AND PAINT FROM EXTERIOR WOOD TRIM TO RECEIVE NEW PAINT. PRIME WOOD REPAIR MANUFACTURER'S REQUIREMENTS AND APPLY TWO (2) FINISH COATS OF EXTERIOR GRADE PAINT. PROVIDE SEALANT AT ALL JOINTS BETWEEN WINDOW FRAME, TRIM, AND METAL SIDING.

LEGEND
EXISTING DOOR & FRAME TO REMAIN
NEW DOOR & FRAME SEE DOOR SCHEDULE
EXISTING WALL TO REMAIN. NOTE: ALL PERIMETER WALLS ARE EXISTING TO REMAIN.
NEW WALL - SEE WALL TYPES

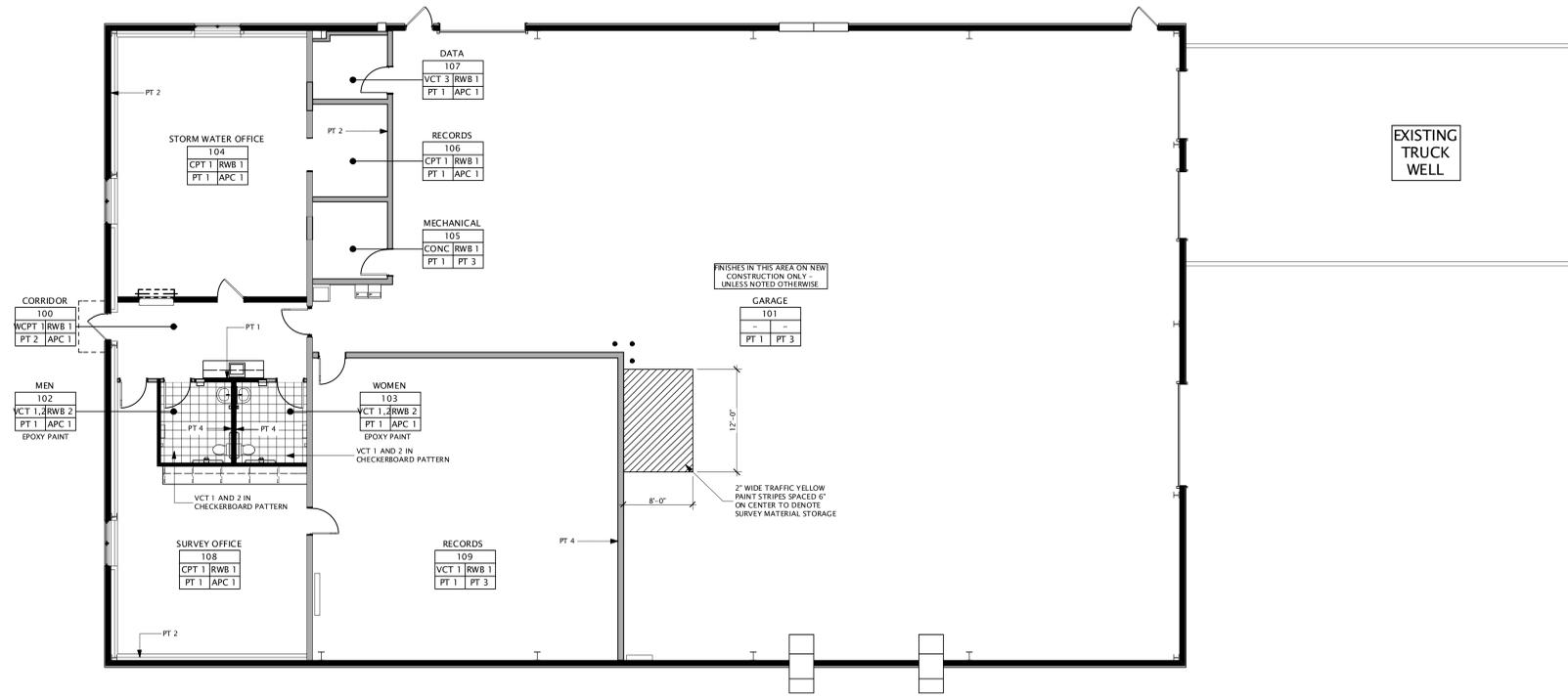
E

D

C

B

A



FIRST FLOOR DISTRIBUTION PLAN
SCALE: 1/8" = 1'-0"

FIXTURE LEGEND	
[Symbol]	RECESSED FLUORESCENT TROFFER (2'x4' / 1'x4')
[Symbol]	FLUORESCENT COVE LIGHTING
[Symbol]	FLUORESCENT INDUSTRIAL FIXTURE (SEE ELECTRICAL FOR TYPE)
[Symbol]	SURFACE MOUNTED FLUORESCENT FIXTURE
[Symbol]	PENDANT MOUNTED FLUORESCENT LIGHT FIXTURE
[Symbol]	PENDANT MOUNTED FIXTURE
[Symbol]	RECESSED DOWNLIGHT
[Symbol]	EXIT SIGN / LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	CEILING MOUNTED CABINET UNIT HEATER
[Symbol]	EXHAUST / RETURN GRILLE
[Symbol]	SUPPLY DIFFUSER
[Symbol]	RETURN-AIR GRILLE
[Symbol]	SPEAKER BY ELECTRICAL CONTRACTOR. SEE "TS" SHEETS
[Symbol]	PENDANT SPRINKLER HEAD (SEE FIRE PROTECTION FOR TYPE)
[Symbol]	SIDEWALL SPRINKLER HEAD
[Symbol]	WINDOW SHADE TO BE PROVIDED AT THIS OPENING
[Symbol]	NOT ALL SYMBOLS SHOWN ARE USED ON DRAWINGS

CEILING LEGEND	
[Symbol]	GYPSUM DRYWALL OR SYNTHETIC VENEER PLASTER CEILING/SOFFIT
[Symbol]	24" x 24" SUSPENDED LAY-IN ACOUSTICAL CEILING
[Symbol]	EXPOSED OR EXISTING CONSTRUCTION TO REMAIN

CEILING TYPES	
ACP-1	ARMSTRONG DUNE ITEM 1774 24" x 24" x 5/8" SQUARE LAY-IN. COLOR: WHITE PROVIDE PRELUDE 15/16" EXPOSED TEE GRID SYSTEM (WHITE)

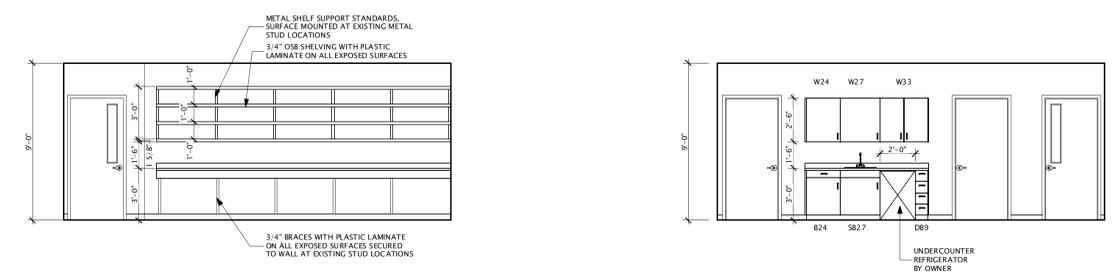
CEILING FINISH KEY	
ROOM NAME AND NUMBER PLUS GENERAL ROOM FINISH INFORMATION UNLESS NOTED OTHERWISE BY FINISH KEY	
CLASSROOM	ROOM NAME
101	ROOM NUMBER
9'-0"	CEILING HEIGHT (A.F.F.)
ACP	CEILING FINISH ABBREVIATION (SEE BELOW)

CEILING FINISH ABBREVIATIONS	
ACP	ACOUSTICAL LAY-IN CEILING PANELS
ALUM	ALUMINUM PANEL
AWP	ACOUSTICAL WALL PANEL
AB	ACOUSTICAL Baffle
EX	EXISTING
EX-P	EXISTING - TO BE PAINTED
EXP-P	EXPOSED CONSTRUCTION - TO BE PAINTED
FB	FABRIC BANNER
CYP-P	GYPSUM BOARD - PAINTED
CYP-EP	GYPSUM BOARD - EPOXY PAINTED
PT	PAINT
SVP	SYNTHETIC VENEER PLASTER (UNFINISHED)
UF	UNFINISHED

- NOTES**
- REFER TO FINISH PLANS FOR INFORMATION ON ROOM FINISHES.
 - REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON MATERIALS AND CONSTRUCTION.

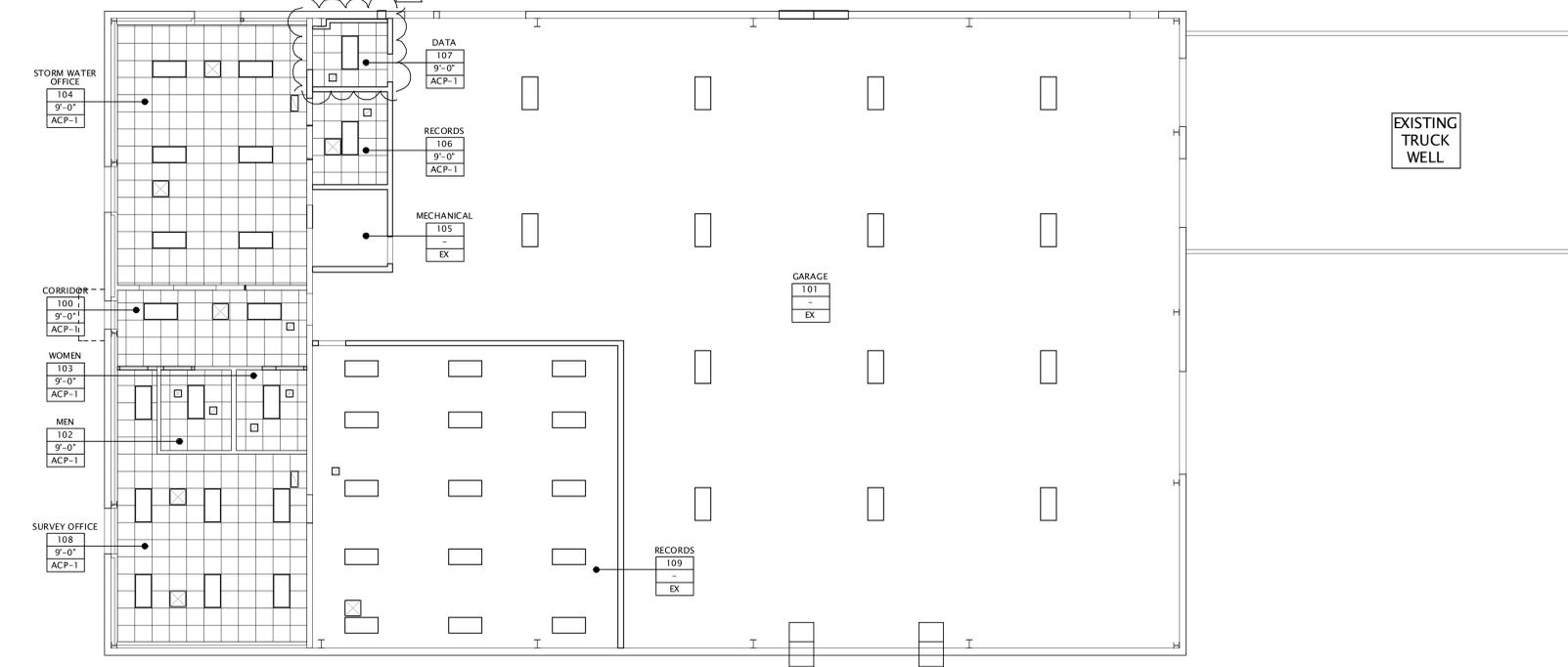
- REFLECTED CEILING PLAN GENERAL NOTES**
- REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPES, AND ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO ELECTRICAL AND MECHANICAL WORK.
 - COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH TRADE. REQUIRING THE SAME. ACCESS PANELS ARE SPECIFIED ARCHITECTURALLY BUT ARE REQUIRED TO BE PROVIDED BY TRADE. SPOT ALL LOCATIONS WITHIN FIXED GYPSUM BOARD CEILING AND RECEIVE APPROVAL FROM THE ARCHITECT'S FIELD REPRESENTATIVE BEFORE PLACEMENT.
 - COORDINATE CEILING SUSPENSION SYSTEMS WITH OTHER CEILING SPACE EQUIPMENT SUPPORTS.
 - ALL SMOKE BARRIER PARTITIONS, HORIZONTAL EXIT ENCLOSURES AND FIRE RATED PARTITIONS WHICH EXTEND TO THE DECK ABOVE SHALL BE MARKED EVERY 20'-0" HORIZONTALLY WITHIN THE CEILING SPACE. FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS.
 - ALL CYP BOARD FASCIA @ SOFFITS, ADJACENT TO LAY-IN CEILING, SHALL EXTEND 6" MINIMUM ABOVE LAY-IN CEILING.
 - PROVIDE WOOD BLOCKING, ABOVE GYPSUM BOARD CEILING, AS REQUIRED FOR MISCELLANEOUS SUSPENDED ITEMS (i.e. CURTAIN TRACKS, WINDOW SHADES, ACOUSTICAL Baffles, ETC.) TREATED WHERE REQUIRED.
 - CENTER ALL SPRINKLER HEADS IN THE CENTER OF CEILING TILE UNLESS SHOWN OTHERWISE.

FIRST FLOOR RCP
SCALE: 1/8" = 1'-0"



C4 CORRIDOR CABINETS
SCALE: 1/4" = 1'-0"

C3 CORRIDOR CABINETS
SCALE: 1/4" = 1'-0"



FINISHES LEGEND	
ROOM FINISH KEY	
ROOM NAME AND NUMBER PLUS GENERAL ROOM FINISH INFORMATION UNLESS NOTED OTHERWISE BY FINISH KEY	
FLOOR FINISH (SEE BELOW)	ROOM NAME
WALL FINISH (SEE BELOW)	ROOM #
	FLOOR BASE
	WALL CLG.
	CEILING FINISH (SEE BELOW)

WALK OFF CARPET (WCPT)	
WCPT 1	SHAW, WELLCOME, 10118 EBONY

CARPET (CPT)	
CPT 1	INTERFACE, EARTH II, 9242 PRAIRIE

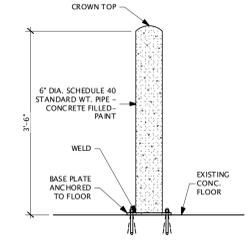
VINYL COMPOSITION TILE (VCT)	
VCT 1	ARMSTRONG STANDARD EXCELON, S7501 NOUGAT
VCT 2	ARMSTRONG STANDARD EXCELON, S1868 SMOKEY BROWN
VCT 3	ARMSTRONG STATIC DISSIPATIVE SDT, PEARL WHITE

PAINTS (PT)	
PT 1	SHERWIN WILLIAMS, SW7631 CITY LOFT
PT 2	SHERWIN WILLIAMS, SW6141 SOFTER TAN
PT 3	SHERWIN WILLIAMS, EXTRA WHITE
PT 4	SHERWIN WILLIAMS, SW7621 SILVERMIST

ACOUSTICAL PANEL CEILING (APC)	
SEE REFLECTED CEILING PLANS	

RESILIENT BASE (RESB)	
RWB 1	JONSONITE, 80 FAWN, 4" COVE RUBBER WALL BASE, COILS
RWB 2	JONSONITE, 80 FAWN, 6" COVE RUBBER WALL BASE, COILS

TOILET PARTITIONS	
PLAM1	RONITE, GOLD PANNIN, AT710 SUEDE

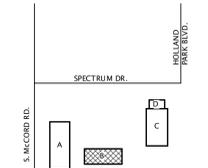


A1 PIPE BOLLARD
SCALE: 3/4" = 1'-0"

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ARCHITECTS
LANDSCAPE ARCHITECTS
INTERIOR DESIGNERS
PLANNERS



SITE KEY PLAN
N.T.S.

PROJECT TITLE
Lucas County Engineer Renovations to Building B
1049 S. McCord Road
Holland, Ohio

12.10.2012	ADDENDUM 002
12.03.2012	ADDENDUM 001
11.07.2012	ISSUED FOR BIDDING
11.07.2012	ISSUED FOR PERMITS

CHECKED CV
APPROVED ARB

TCI JOB NO. 106050

SHEET TITLE
RCP, Room Finish Plan, Legend & Schedule

SHEET NO.

A1.02

DEMOLITION DESIGNATIONS:

CEILING:
 C-0: NO CEILING IN THIS AREA - EXISTING STRUCTURAL SYSTEM EXPOSED ABOVE
 C-1: REMOVE ACOUSTICAL TILE CEILING SYSTEM INCLUDING METAL SUSPENSION SYSTEM - 9" X 9", 1'-0" X 1'-0", 2'-0" X 2'-0" AND/OR 2'-0" X 4'-0"
 C-2: REMOVE GYPSUM BOARD CEILING SYSTEM
 C-3: REMOVE ACOUSTICAL TILES GLUED AND/OR STAPLED TO SUBSTRATE SUSPENSION SYSTEM INCLUDING SUSPENSION SYSTEM - 9"X9" AND/OR 12" X 12"
 C-4: EXISTING ACOUSTICAL TILE CEILING TO REMAIN
 C-5: EXISTING PLASTER OR DRYWALL CEILING TO REMAIN

ADDITIONAL NOTES FOR CEILING:
 1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR REMOVALS ASSOCIATED WITH THOSE TRADES LOCATED ON THE SURFACE, WITHIN AND/OR ABOVE CEILING SYSTEMS.

CASEWORK:
 CA-0: EXISTING CASEWORK AND/OR OVERHEAD SHELVES TO REMAIN
 CA-1: REMOVE BUILT-IN CASEWORK INCLUDING BASE CABINETS, COUNTERTOPS, WALL CABINETS, DESKS AND/OR SHELVING

ADDITIONAL NOTES FOR CASEWORK:
 1. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR REMOVALS ASSOCIATED WITH THOSE TRADES LOCATED ON THE SURFACE AND/OR WITHIN CASEWORKS
 2. REMOVE GLUE, ANCHORS, SHIMS, SUPPORT BRACKETS, ETC. ASSOCIATED WITH CASEWORK TO PROVIDE A SMOOTH SURFACE FOR NEW CONSTRUCTION.
 3. IF WALL IS TO REMAIN, PATCH ANY HOLES TO MATCH SURROUNDING AREA TO CREATE SMOOTH SURFACE.

DOORS:
 D-1: REMOVE DOOR & FRAME
 D-2: REMOVE OVERHEAD DOOR, INCLUDING DOOR AND TRACK

ADDITIONAL NOTES FOR DOORS:
 1. CONTRACTOR SHALL INCLUDE REMOVAL AND SALVAGE OF EXISTING DOOR HARDWARE AS FOLLOWS FROM ALL DOORS TO BE REMOVED:
 A. LOCKSETS
 B. PANIC HARDWARE
 - ALL ABOVE HARDWARE ARE ITEMS TO BE DELIVERED TO OWNER. ANY OTHER HARDWARE ITEMS TO BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
 2. CONTRACTOR SHALL INCLUDE REMOVAL OR CUTTING OF EXISTING DOOR FRAME ANCHORS, SHIMS AND THRESHOLDS TO PROVIDE A CLEAN, CLEAR OPENING FOR NEW CONSTRUCTION.

EQUIPMENT:
 EQUIP-1: REMOVE EXISTING LOCKERS AND ALL ASSOCIATED WALL AND FLOOR ANCHORS

FLOORING:
 F-0: NO FLOORING DEMOLITION IN THIS AREA - EXISTING EXPOSED STRUCTURAL CONCRETE FLOOR WITH PAINTED FINISH
 F-1: REMOVE EXISTING RESILIENT FLOORING - ASPHALT, VINYL COMPOSITION, RUBBER TILE AND/OR SHEET GOODS.
 F-2: REMOVE EXISTING CARPET FLOORING - CARPET, PAD, AND/OR TACK STRIPS
 F-3: REMOVE EXISTING CERAMIC OR QUARRY TILE FLOORING - THIN SET
 F-4: REMOVE EXISTING CERAMIC OR QUARRY TILE FLOORING - MUD SET
 F-5: REMOVE EXISTING TERRAZZO FLOORING - THIN SET
 F-6: REMOVE EXISTING TERRAZZO FLOORING - MUD SET
 F-7: REMOVE EXISTING FLOOR GRATING AND FRAMES
 F-8: NO FLOORING DEMOLITION IN THIS AREA-EXISTING FLOOR FINISH TO REMAIN

ADDITIONAL FLOORING NOTES:
 1. CONTRACTOR TO SCRAPE AND REPAIR EXISTING CONCRETE FLOOR SYSTEM AS REQUIRED IN ALL AREAS TO PROVIDE A SMOOTH SURFACE FOR NEW CONSTRUCTION.

FLOOR DEPRESSIONS AT EXISTING FLOORS:
 FD-1: PLUG EXISTING FLOOR DRAIN BELOW FLOOR LINE. SEE PLUMBING DRAWINGS FOR LINE TERMINATION REQUIREMENTS. FILL DRAIN WITH CONCRETE. APPLY LEVELING COMPOUND TO AREA AROUND DRAIN TO MAKE FLOOR LEVEL WITH ADJACENT FLOOR ELEVATION.
 FD-2: REMOVE EXISTING TRENCH FLOOR DRAIN GRATING AND PLUG EXISTING FLOOR DRAIN BELOW FLOOR LINE. SEE PLUMBING DRAWINGS FOR LINE TERMINATION REQUIREMENTS. FILL DRAIN WITH CONCRETE. APPLY LEVELING COMPOUND TO AREA AROUND DRAIN TO MAKE FLOOR LEVEL WITH ADJACENT FLOOR ELEVATION.

TOILET FIXTURES:
 T-1: REMOVE WALL MOUNTED SINK AND ASSOCIATED PLUMBING LINES
 T-2: REMOVE WATER CLOSET AND ASSOCIATED PLUMBING LINES
 T-3: REMOVE TOILET PARTITIONS AND DOORS
 T-4: REMOVE EXISTING SHOWER FIXTURE AND ALL ASSOCIATED PLUMBING LINES

WALLS AND PARTITIONS:
 W-1: REMOVE METAL OR WOOD STUD AND GYPSUM BOARD PARTITION
 W-2: REMOVE EXTERIOR WALL AS NECESSARY FOR NEW CONSTRUCTION. SEE FLOOR PLAN FOR ADDITIONAL INFORMATION.
 W-3: REMOVE INTERIOR WALL COVERINGS (GYPSUM BOARD, PLYWOOD, ETC.) AND FACED AND UNFACED INSULATION TO EXPOSE EXISTING SUBSTRATE.

ADDITIONAL NOTES FOR WALLS AND PARTITIONS:
 1. SEE ARCHITECTURAL FLOOR PLANS FOR THICKNESS OF WALL WHERE APPLICABLE.

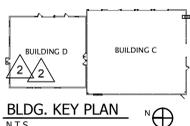
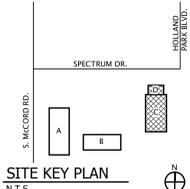
WINDOWS AND CURTAIN WALL:
 WIN-1: REMOVE EXISTING ALUMINUM WINDOW INCLUDING FRAME, GLASS, ALL ASSOCIATED INTERIOR AND EXTERIOR ALUMINUM TRIM AND SEALANTS.
 WIN-2: REMOVE GLAZED ALUMINUM CURTAIN WALL SYSTEM INCLUDING ALUMINUM FRAMES, GLASS, SPANDREL PANELS, ALL ASSOCIATED ALUMINUM TRIM AND SEALANTS.

ADDITIONAL NOTES FOR WINDOWS AND CURTAIN WALL:
 1. TAKE CAUTION WHEN REMOVING EXISTING INTERIOR WINDOWS TO PROTECT FROM DAMAGE EXISTING SLATE WINDOW STOOLS FOR REMOVAL, CLEANING AND REINSTALLATION.
 2. REMOVE OR CUT EXISTING WINDOW AND CURTAIN WALL ANCHORS AND SHIMS TO PROVIDE A CLEAN, CLEAR OPENING FOR NEW CONSTRUCTION.

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 LANDSCAPE ARCHITECTS
 INTERIOR DESIGNERS
 PLANNERS



PROJECT TITLE
Lucas County Engineer
Renovations to Building C & D
 1049 S. McCord Road
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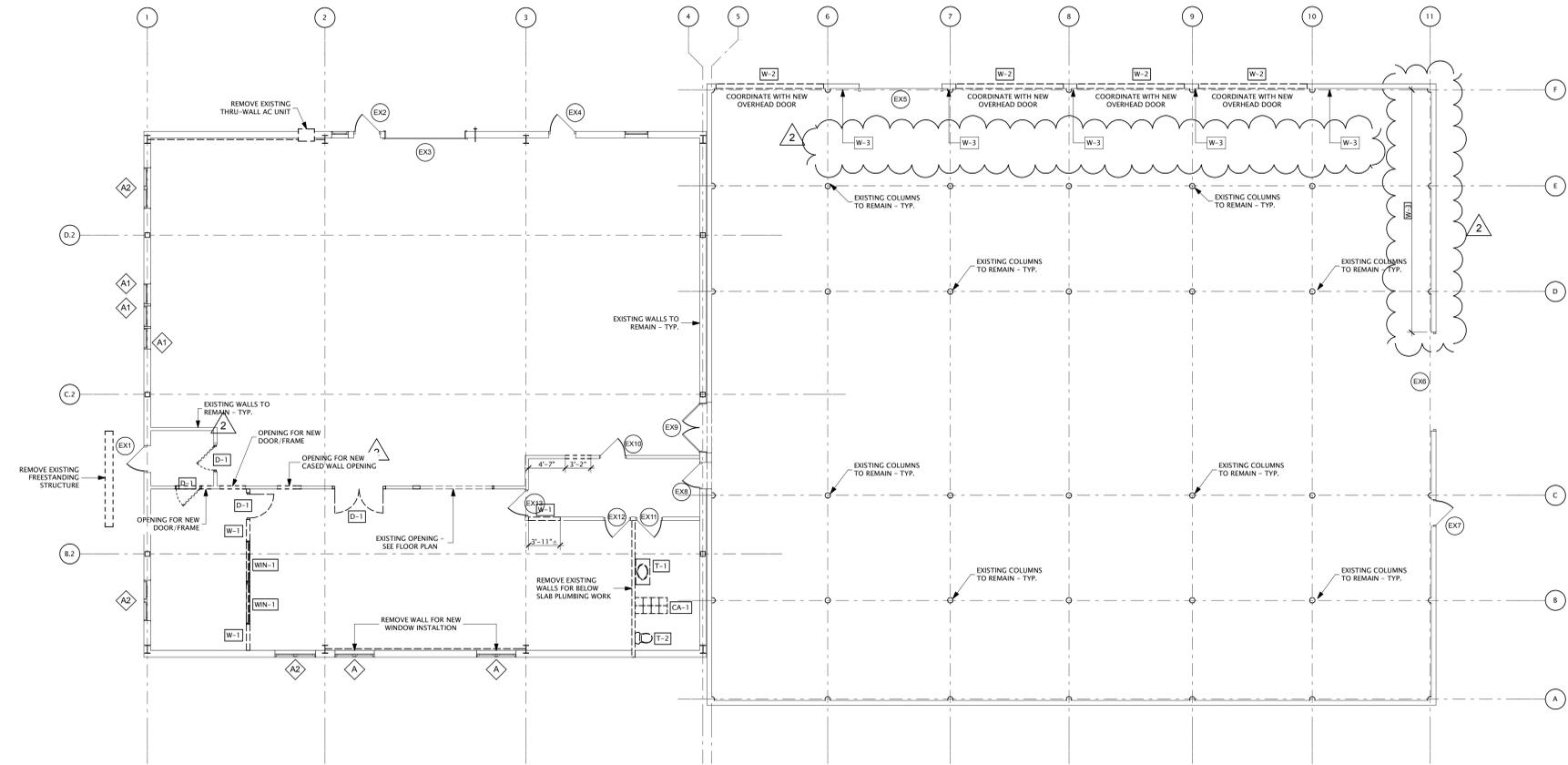
12.10.2012	ADDENDUM 002
12.03.2012	ADDENDUM 001
11.07.2012	ISSUED FOR BIDDING
11.07.2012	ISSUED FOR PERMITS

CHECKED CV
 APPROVED ARB

TCI JOB NO. 106048

SHEET TITLE
Demolition Plan

SHEET NO.
A0.11



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

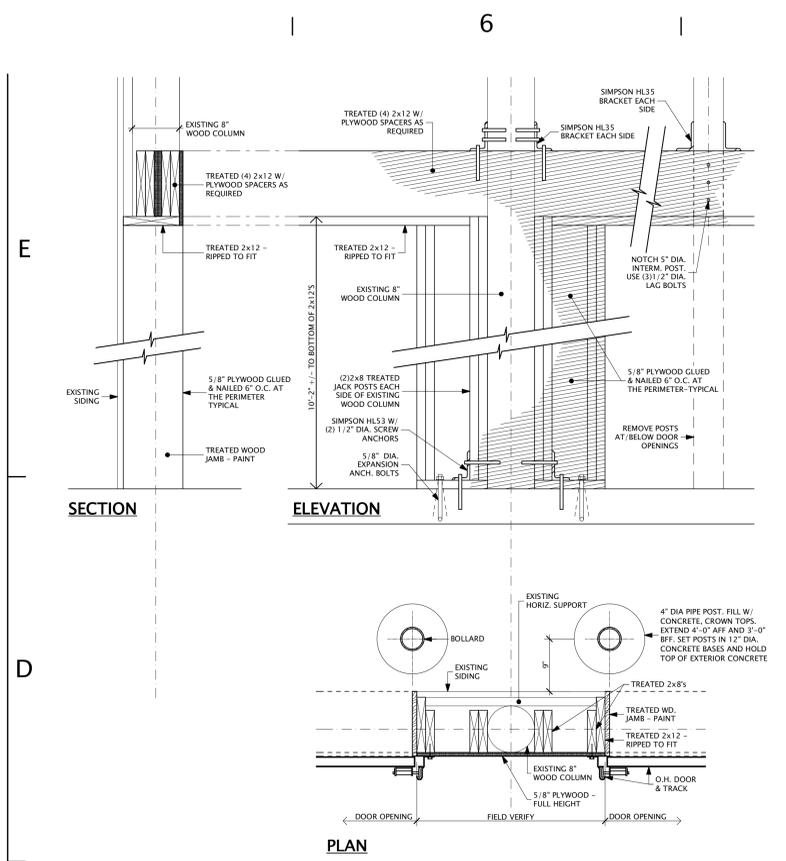




12.10.2012	ADDENDUM 002
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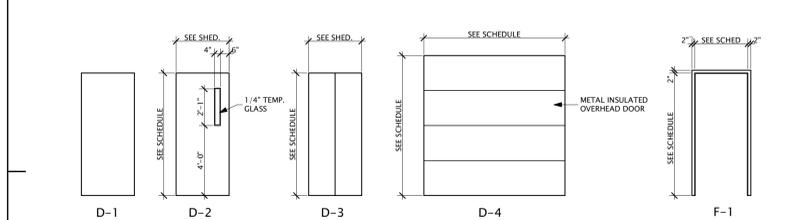
CHECKED CV
 APPROVED ARB

TCI JOB NO. 106048



C5 OVERHEAD DOOR DETAILS
 SCALE: 1" = 1'-0"

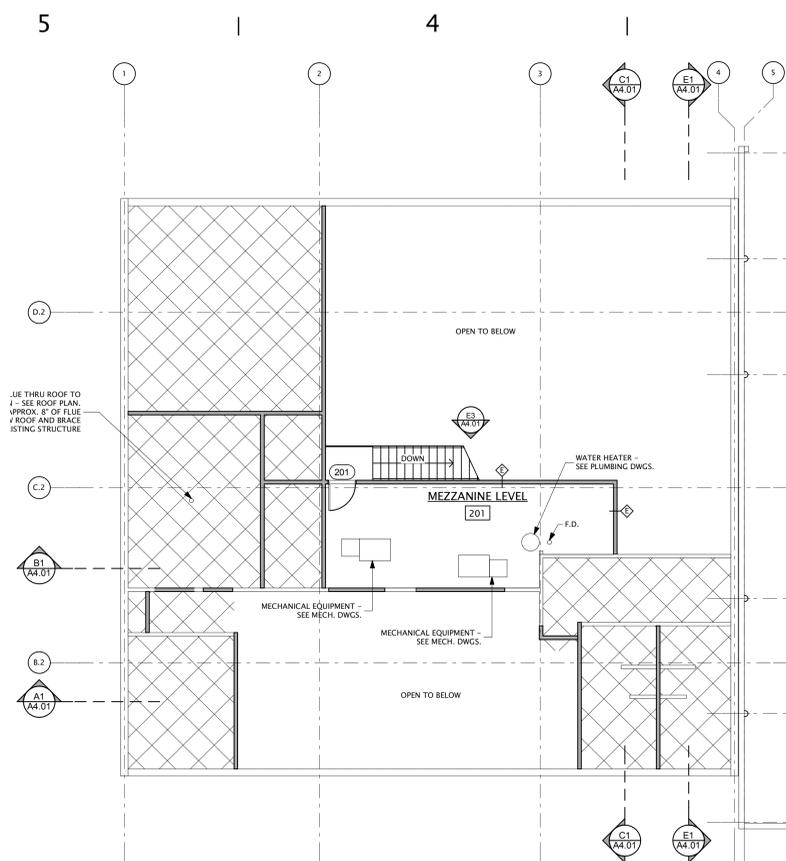
No.	SIZE	HT	EL	DOOR				FRAME				HDW SET	FIRE RATING	REMARKS
				MATL	FN	EL	H	J	MATL	FN	EL			
101	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	004			NEW DOOR & FRAME IN EXISTING OPENING	
102	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	001				
104	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	001				
106	3'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	005				
107	3'-2"	7'-0"												
112	6'-0"	7'-0"	D2	HM	PT 2	F1	J1	HM	PT 2	002			(2) 3'-0" DOORS	
113	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	003				
114D	12'-0"	10'-0"	D4				D5						O.H. DOOR & FRAME	
114E	12'-0"	10'-0"	D4				D5						O.H. DOOR & FRAME	
114F	12'-0"	10'-0"	D4				D5						O.H. DOOR & FRAME	
114H	12'-0"	10'-0"	D4				D5						O.H. DOOR & FRAME	
115	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	003				
201	3'-0"	7'-0"	D1	HM	PT 2	F1	J1	HM	PT 2	003				
EX1	3'-0"	7'-0"								007			EXISTING DOOR & FRAME	
EX2	3'-0"	7'-0"								008			EXISTING DOOR & FRAME	
EX3	10'-0"	10'-0"											EXISTING O.H. DOOR	
EX4	3'-0"	7'-0"								008			EXISTING DOOR & FRAME	
EX5	10'-0"	10'-0"											EXISTING O.H. DOOR	
EX6	12'-0"	14'-0"											EXISTING O.H. DOOR	
EX7	3'-0"	7'-0"								008			EXISTING DOOR & FRAME	
EX8	3'-0"	7'-0"								008	2 HR.		EXISTING DOOR & FRAME	
EX9	6'-0"	7'-0"								008	2 HR.		EXISTING DOOR & FRAME	
EX10	3'-0"	7'-0"								008			EXISTING DOOR & FRAME	
EX11	3'-0"	7'-0"								006			EXISTING DOOR & FRAME	
EX12	3'-0"	7'-0"								006			EXISTING DOOR & FRAME	
EX13	3'-0"	7'-0"								008			EXISTING DOOR & FRAME	



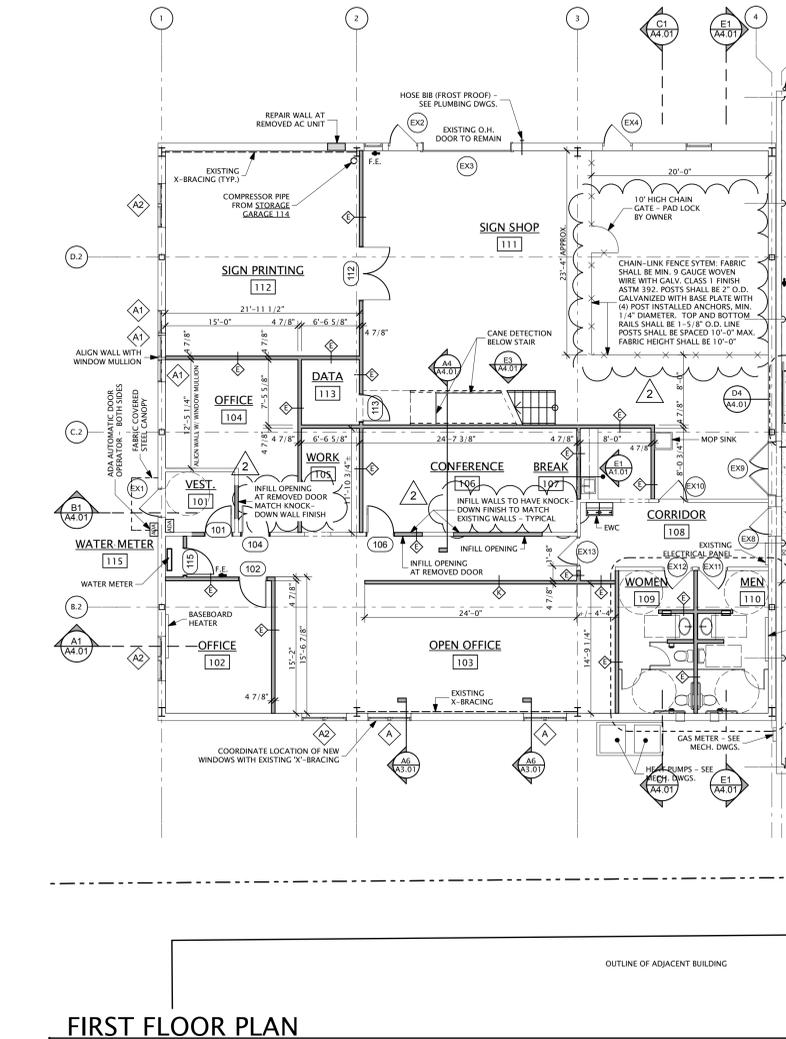
DOOR ELEVATIONS & FRAMES
 SCALE: 1/4" = 1'-0"



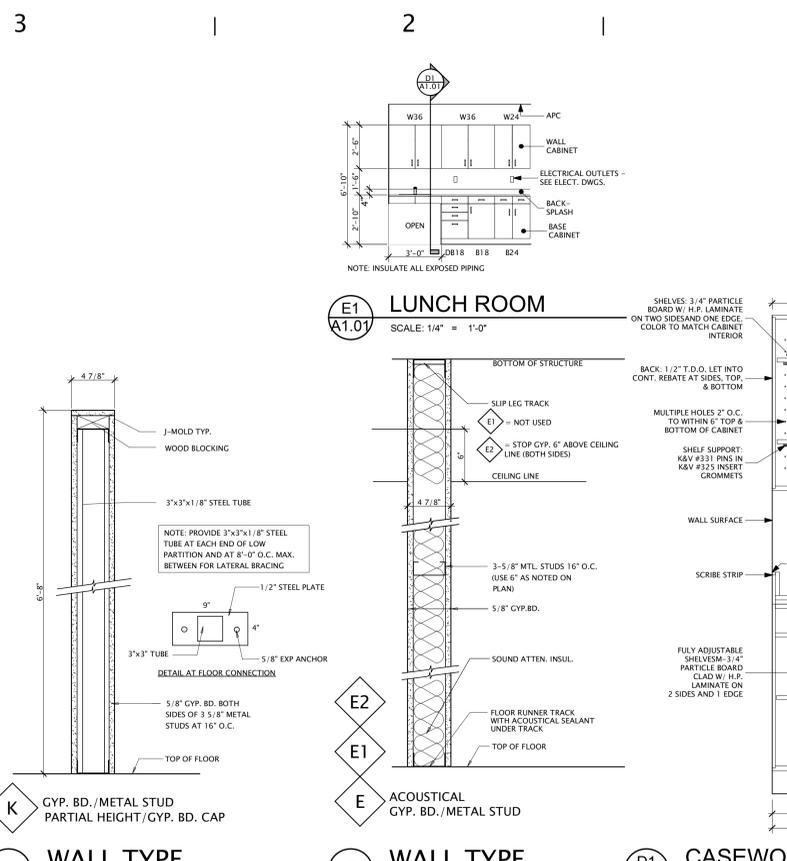
DOOR DETAILS
 SCALE: 1 1/2" = 1'-0"



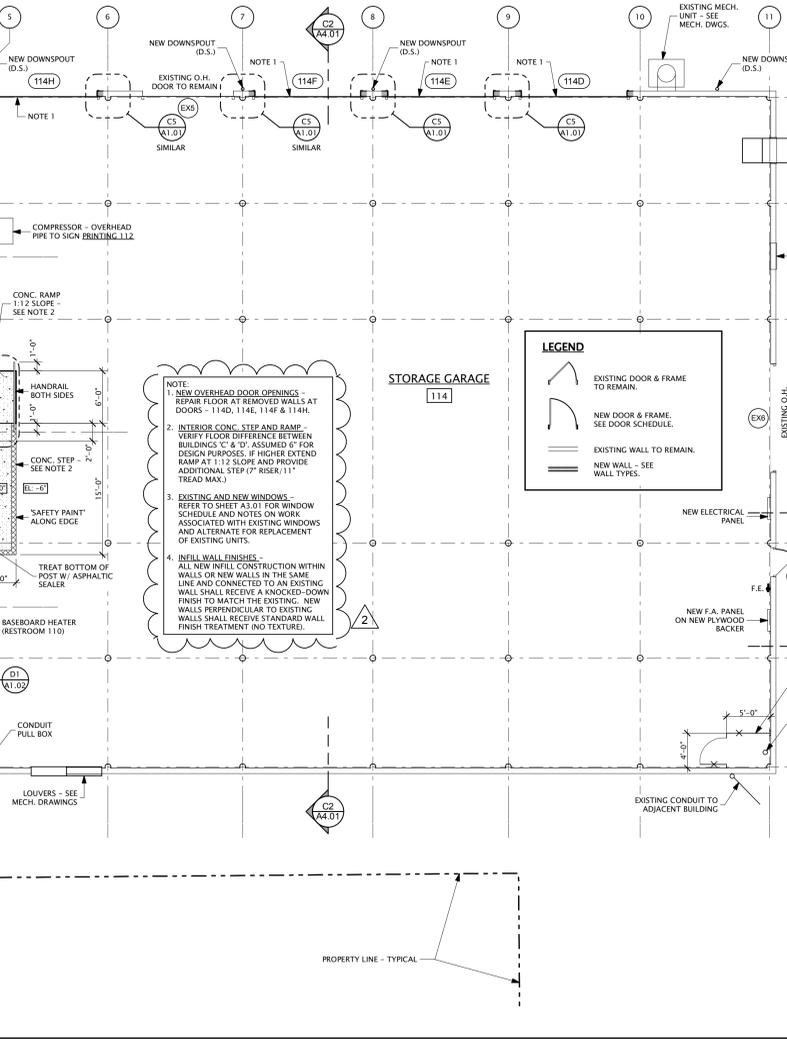
MEZZANINE LEVEL PLAN
 SCALE: 1/8" = 1'-0"



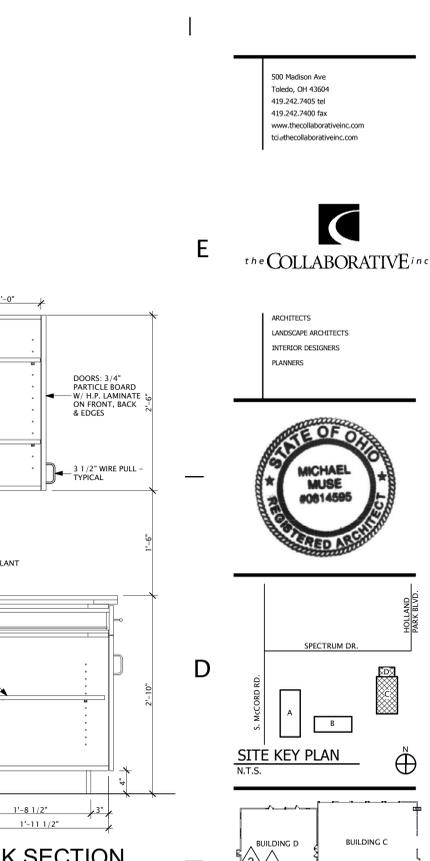
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



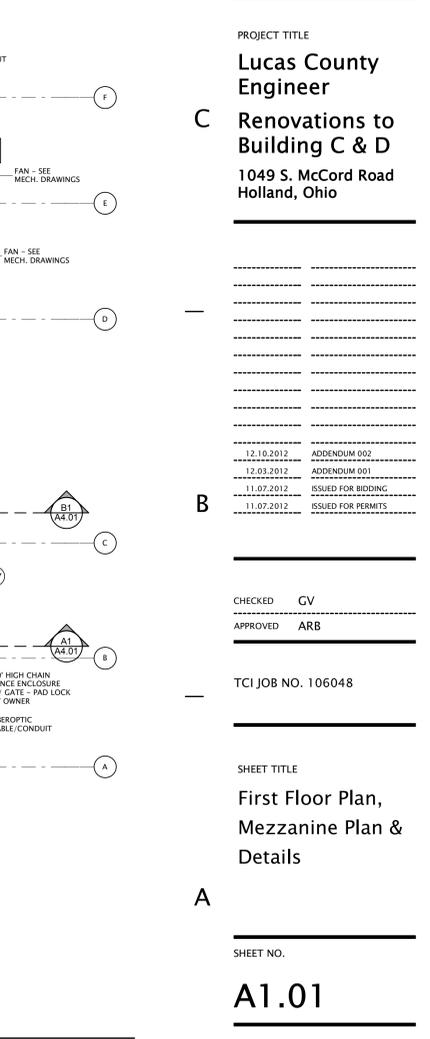
WALL TYPE SCALE: 1 1/2" = 1'-0"
WALL TYPE SCALE: 1 1/2" = 1'-0"
CASEWORK SECTION SCALE: 1" = 1'-0"

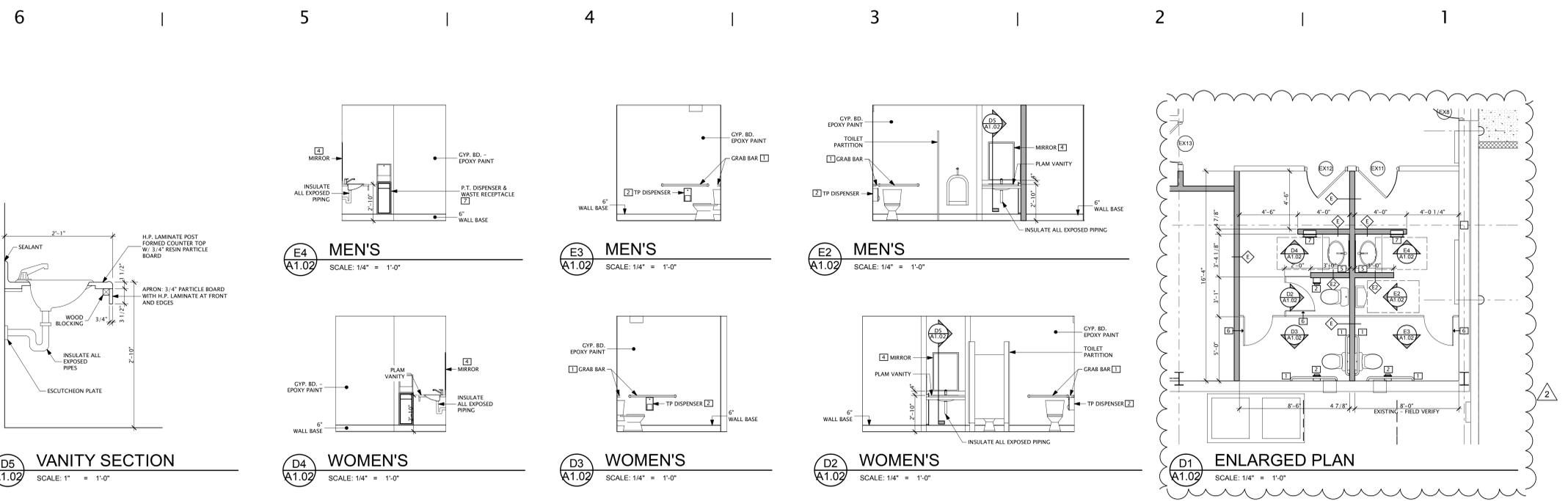


LEGEND



LUNCH ROOM SCALE: 1/4" = 1'-0"
CASEWORK SECTION SCALE: 1" = 1'-0"





D5
A1.02 VANITY SECTION
 SCALE: 1" = 1'-0"

E4
A1.02 MEN'S
 SCALE: 1/4" = 1'-0"

E3
A1.02 MEN'S
 SCALE: 1/4" = 1'-0"

E2
A1.02 MEN'S
 SCALE: 1/4" = 1'-0"

D4
A1.02 WOMEN'S
 SCALE: 1/4" = 1'-0"

D3
A1.02 WOMEN'S
 SCALE: 1/4" = 1'-0"

D2
A1.02 WOMEN'S
 SCALE: 1/4" = 1'-0"

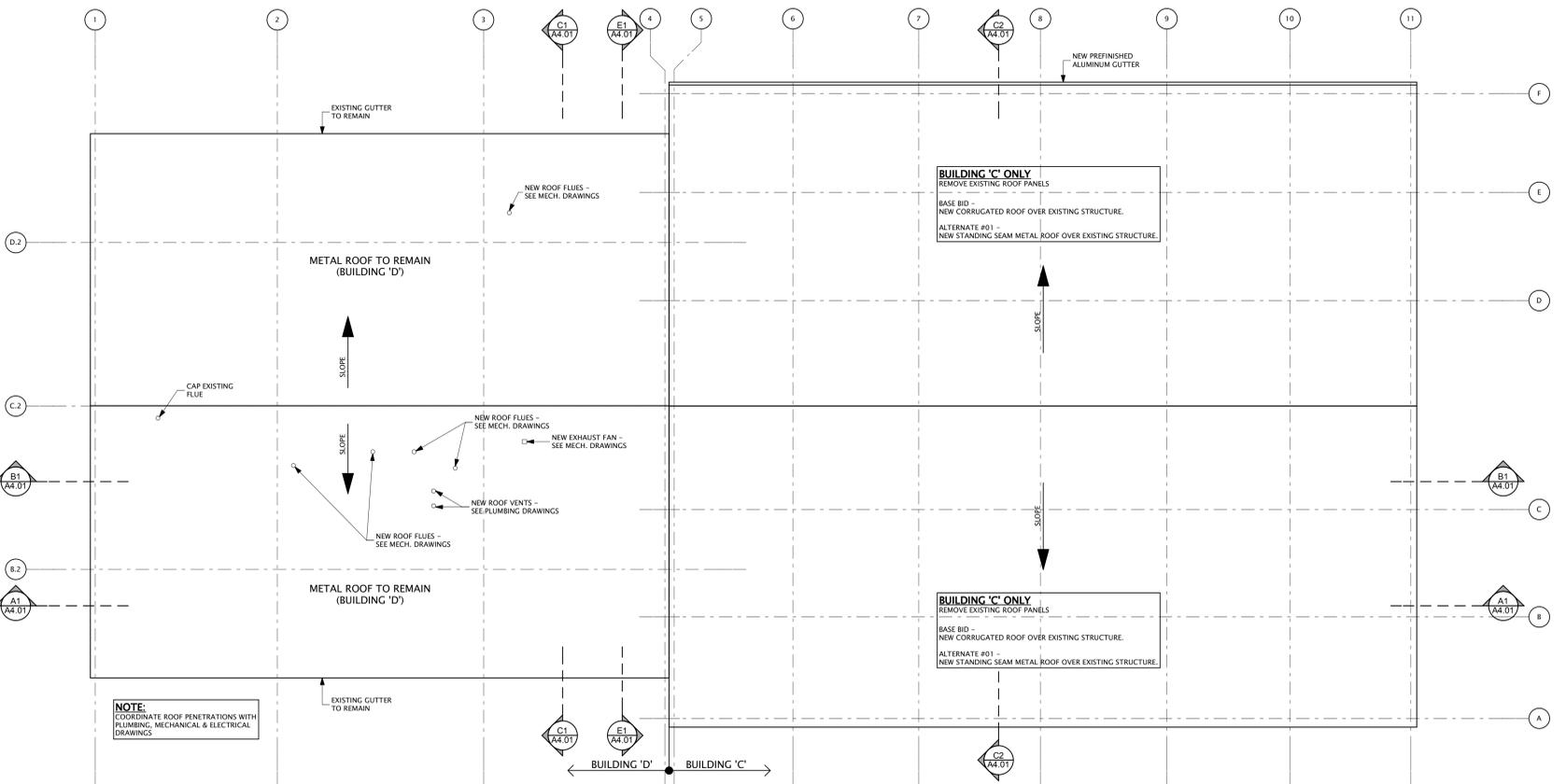
D1
A1.02 ENLARGED PLAN
 SCALE: 1/4" = 1'-0"

TOILET ROOM ACCESSORIES SCHEDULE				
ITEM	MANUFACTURER	MODEL #	REMARKS	
1	STAINLESS STEEL GRAB BARS, 36" & 42"	BOBRICK	B-5806x36 & B-5806x42	
2	TOILET PAPER DISPENSER	BOBRICK	B-2888	
3	NOT USED	-	-	
4	MIRROR	BOBRICK	B-165 2436	
5	SOAP DISPENSER	BOBRICK	B-2111	
6	CLOSET HOOKS / DOOR STOP	BOBRICK	B-2112	LOCATE ON BACK OF PARTITION DOOR
7	P.T. DISPENSER / WASTE RECEPTACLE	BOBRICK	B-3942	

REFER TO SHEET A0.22 FOR MOUNTING HEIGHT

E
D
C
B
A

6 | 5 | 4 | 3 | 2 | 1



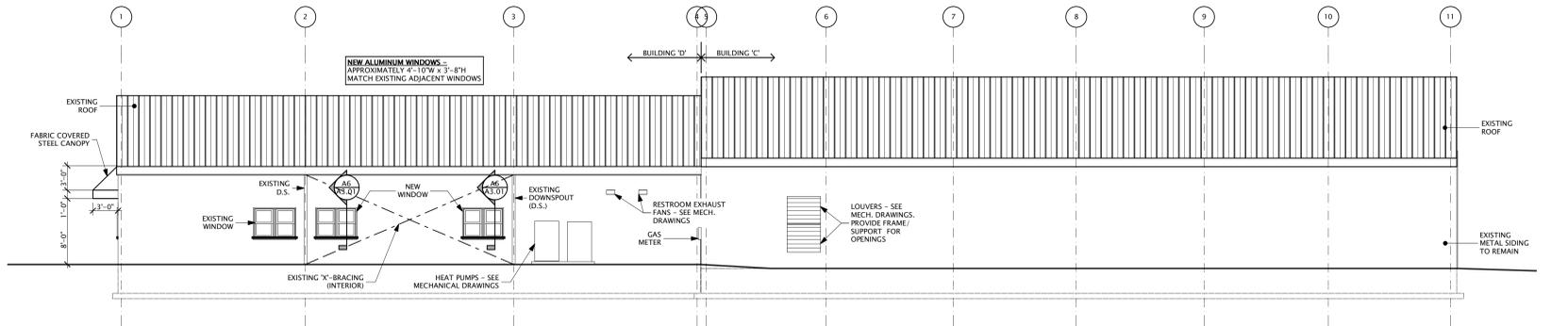
Roof Plan
 SCALE: 1/8" = 1'-0"



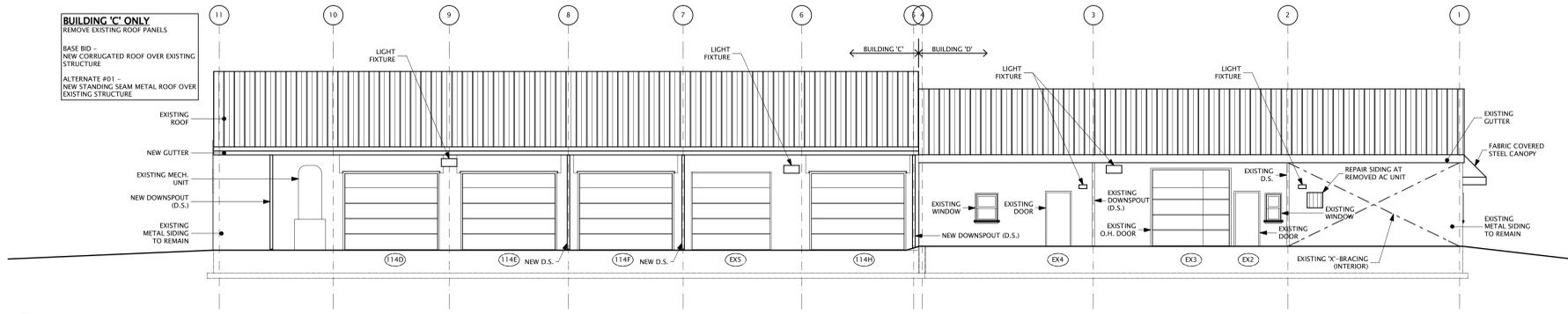
WINDOW RENOVATION NOTES:

- TYPICAL FOR ALL EXISTING WINDOWS: REMOVE EXISTING WOOD STUOL AND ASSOCIATED TRIM. REMOVE EXISTING WINDOW COVERINGS, BLINDS AND SIMILAR ITEMS AND DISPOSE OF PROPERLY. PROVIDE NEW EXTERIOR SEALANT, SILICONE-TYPE, AROUND ALL JOINTS BETWEEN WINDOWS, METAL SIDING, METAL TRIM AND SIDING AND OTHER SIMILAR CONDITIONS. INSPEC WOOD BLOCKING AT SILLS, JAMBS AND HEAD FOR DECAY. DETERIORATION OR ROT. REMOVE SECTIONS OF DETERIORATED WOOD AND PROVIDE NEW WOOD BLOCKING MATCHING EXISTING IN SIZE AND DIMENSION. PROVIDE NEW SOLID SURFACE STOOL AND RELATED TRIM AT EACH EXISTING WINDOW. PROVIDE NEW GYPSUM BOARD ON JAMBS AND HEAD. TAPE, FINISH AND PAINT GYPSUM BOARD JAMBS AND HEADS TO MATCH COLOR OF SURROUNDING WALL SURFACES. REFER TO DETAIL A6 ON SHEET A3.01 FOR TYPICAL DETAIL OF INTERIOR WALL FINISH AND CONSTRUCTION.
- CONTRACTOR SHALL INSPECT EACH EXISTING WINDOW FOR DAMAGE, LOSS OF SEAL IN INSULATED GLAZING, OPERATION AND ANY OTHER DEFECT OR DAMAGE THAT MAY RENDER THE WINDOW UNIT INOPERABLE. REPORT INFORMATION TO ARCHITECT BEFORE PROCEEDING WITH FURTHER WORK ON EXISTING WINDOWS.
- ALTERNATE 002: SEE SECTION 012300-ALTERNATES FOR DESCRIPTION OF WORK ASSOCIATED WITH BASE BID AND ALTERNATE TO REPLACE EXISTING WINDOWS AS DESIGNATED IN WINDOW SCHEDULE ON SHEET A3.01. WHERE WINDOWS UNITS HAVE MULLIONS OR STRUCTURE BETWEEN, CONTRACTOR SHALL EXERCISE CARE IN REMOVING WINDOWS TO MAINTAIN INTEGRITY OF MULLIONS. REPLACEMENT UNITS ARE TO BE SIMILAR SIZE AND INCLUDE METAL TRIM AND CLOSURES AROUND MULLIONS ON THE EXTERIOR AND FINISHED PAINTED WOOD TRIM ON THE INTERIOR. WHERE EXISTING UNITS ARE MULLED INTO A SINGLE UNIT, REPLACEMENTS MAY ALSO BE MULLED TOGETHER; HOWEVER UNIT APPEARANCE AND DIVIDING MULLION ARE TO BE OF SAME SIZE AS EXISTING UNITS. ALL WINDOWS OPENINGS UNDER ALTERNATE 002 SHALL RECEIVE NEW TRIM, STOOL, JAMBS AND HEAD FINISHES.

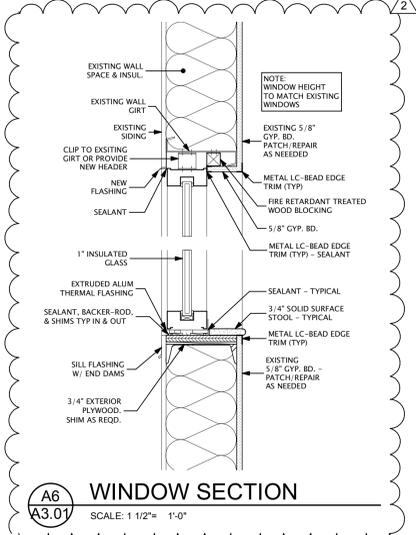
Window Schedule						
ID	Quantity	Zone Name	Nominal W x H Size	Nominal Head Height	3D Front View	Remarks
A	2	OPEN OFFICE	4'-10"x3'-8"	6'-10"		NEW UNIT
A1	1	OFFICE	2'-6 1/8"x3'-8"	6'-10"		NEW UNIT
A1	2	SIGN PRINTING	2'-6 1/8"x3'-8"	6'-10"		EXISTING UNITS TO REMAIN
A2	1	OFFICE	5'-0"x3'-8"	6'-10"		EXISTING UNIT - SEE ALTERNATE 02 FOR REPLACEMENT REQUIREMENTS
A2	1	OPEN OFFICE	5'-0"x3'-8"	6'-10"		EXISTING UNIT - SEE ALTERNATE 02 FOR REPLACEMENT REQUIREMENTS
A2	1	SIGN PRINTING	5'-0"x3'-8"	6'-10"		EXISTING UNIT - SEE ALTERNATE 02 FOR REPLACEMENT REQUIREMENTS



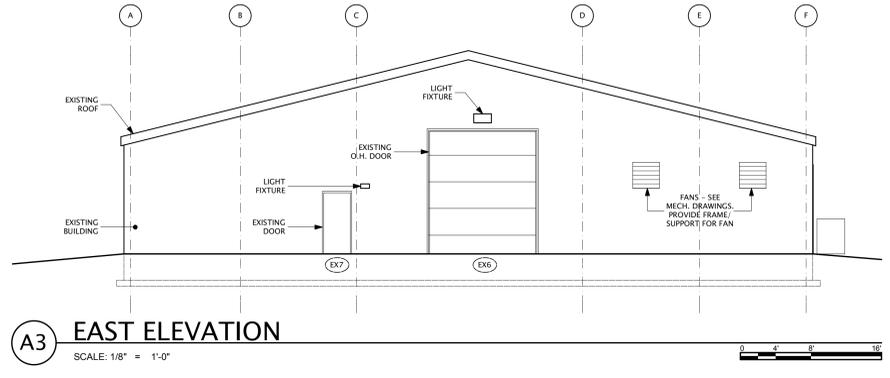
C1 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



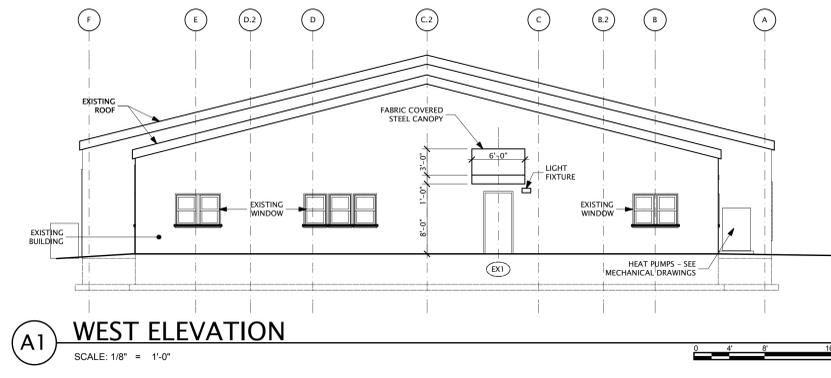
B1 NORTH ELEVATION SCALE: 1/8" = 1'-0"



A6 WINDOW SECTION SCALE: 1 1/2" = 1'-0"



A3 EAST ELEVATION SCALE: 1/8" = 1'-0"

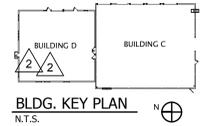
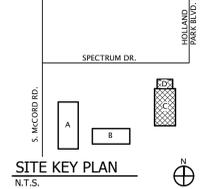


A1 WEST ELEVATION SCALE: 1/8" = 1'-0"

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CHECKED CV
 APPROVED ARB

TCI JOB NO. 106048

SHEET TITLE
Exterior Elevations

SHEET NO.
A3.01